



TYBALDS ESTATE REGENERATION

CAMDEN

DESIGN & ACCESS STATEMENT

JULY 2021

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1 INTRODUCTION

1.0 INTRODUCTION

Tybalds Estate in Holborn is a post-war estate belonging to Camden Council.

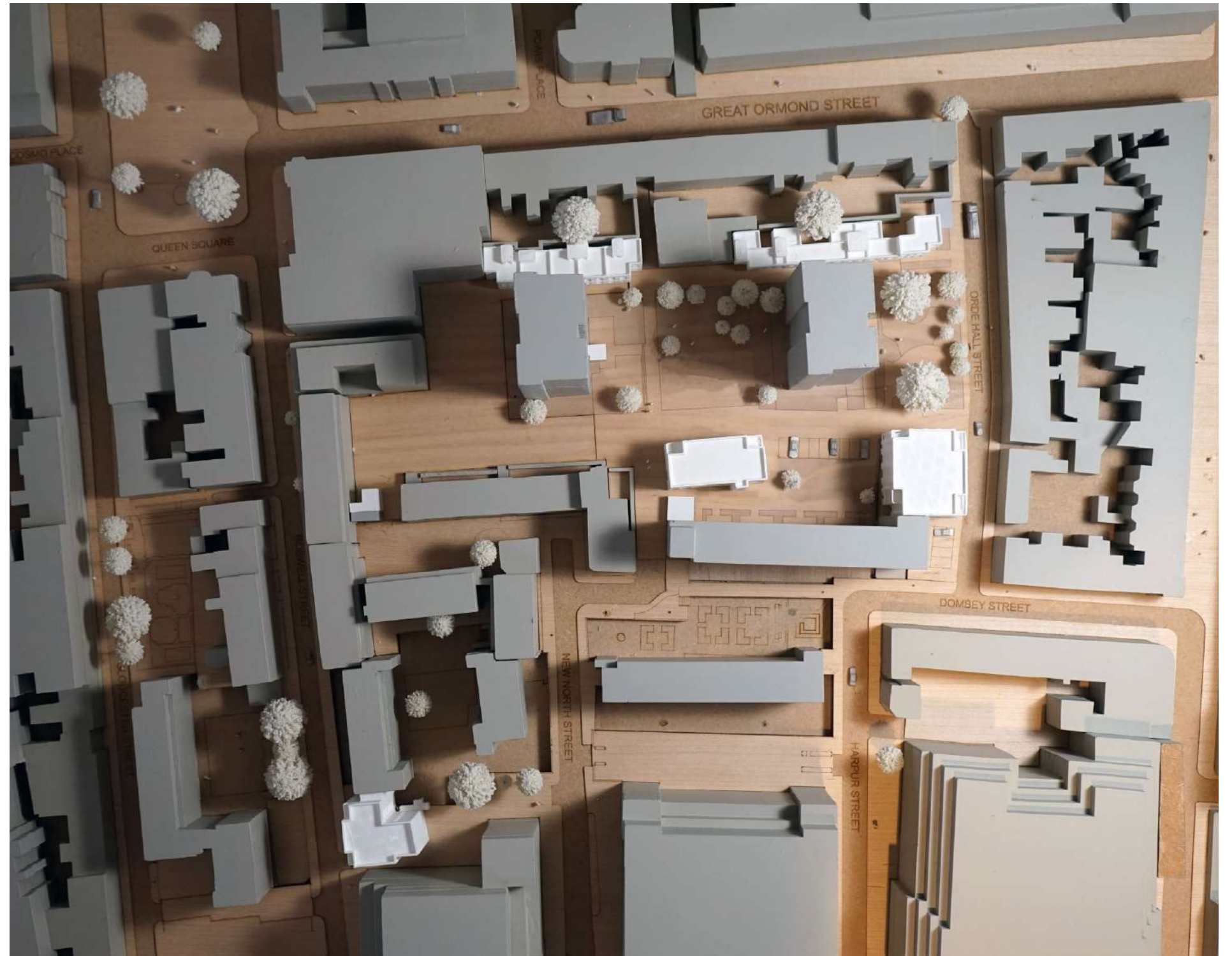
In 2014 planning consent was given to provide 93 new homes which comprised of roof extensions, side extensions and conversion of the basements in the original 1940s blocks and also included new houses and flats on infill sites across the estate. This scheme was never developed owing to high build cost.

In late 2018 Camden Council re-tendered the architectural work for a revised scheme and Matthew Lloyd Architects were appointed in January 2019.

The practice has been working very closely with Camden and DWD Property + Planning for the last two years, and this Design and Access Statement forms part of a new planning application for 56 new homes of a variety of tenures and sizes that is deemed to be financially viable.

The proposed scheme has been widely consulted on with the local residents and is a sensitive response to their needs and those of Camden's aims to provide more housing. It consists of various components, such as infill housing blocks, underbuild flats and extensive public realm works.

This Design and Access Statement report describes all aspects of the proposals.



AERIAL VIEW OF SITE MODEL

1.2 SITE OVERVIEW

TYBALDS ESTATE

The Tybalds Estate consists of eight post-war blocks; six slab blocks and two towers. The northern part of the estate centres around large, generally undefined, open spaces, whilst the southern part of the estate has a more integrated layout.

- CHANCELLORS COURT
- BABINGTON COURT
- BLEMUNDSBURY
- DEVONSHIRE
- WINDMILL
- SPRINGWATER
- RICHBELL
- FALCON



AERIAL VIEW OF EXISTING SITE

1.3 THE TEAM



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FIRE ENGINEER

WSP Global Inc.

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Spitafields
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CIVIL & STRUCTURAL ENGINEER

Mason Navarro Pledge

The Foundry
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AIR QUALITY/ACOUSTICS
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Frouds Lane, Aldermaston
Reading
RG7 4LH

1.4 THE CLIENT

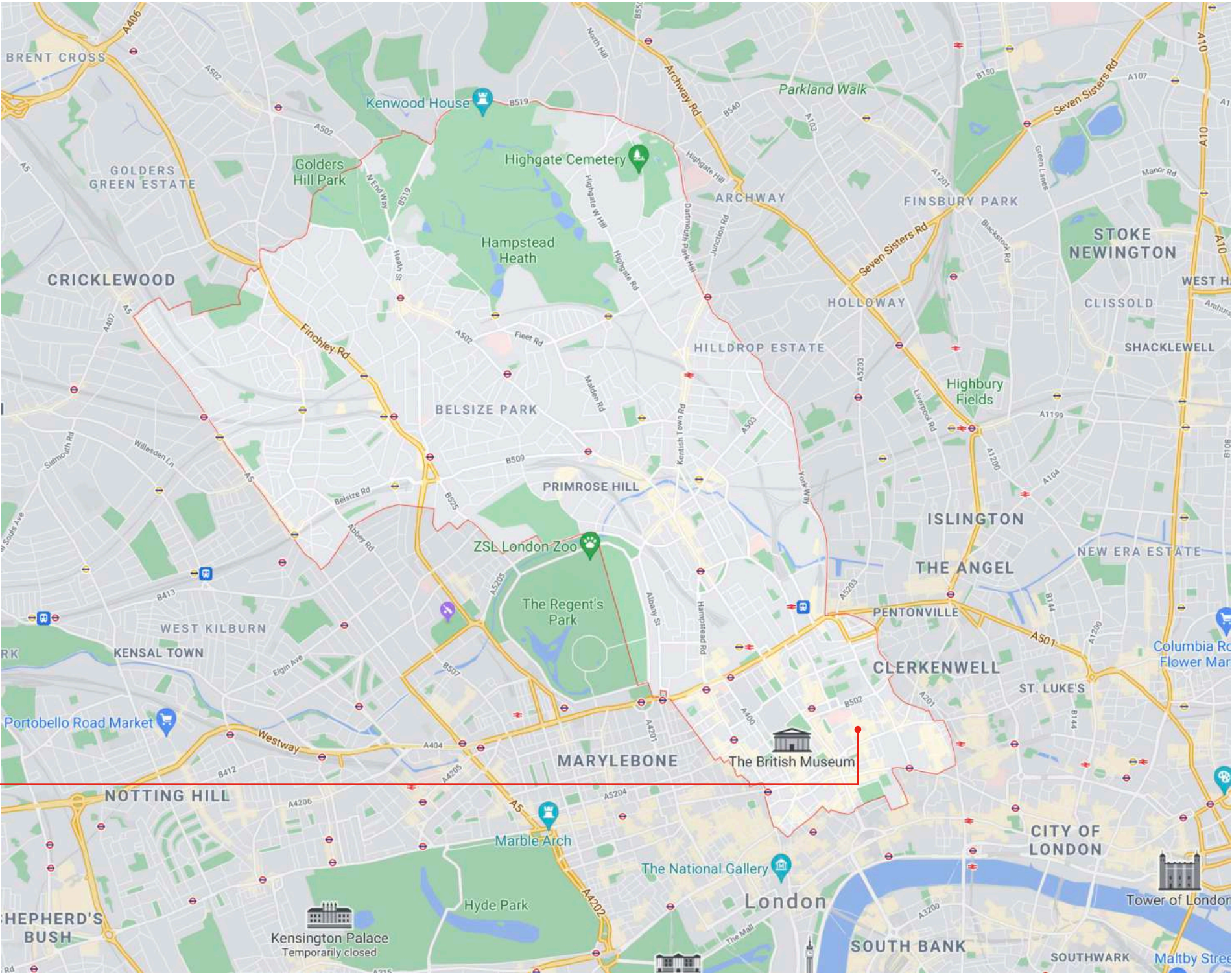
LONDON BOROUGH OF CAMDEN

Tybalds Estate regeneration is included in Camden’s Community Investment Programme (CIP).

This programme seeks to provide new Council and affordable homes and new and improved education and community facilities through the development of existing land and assets and the raising of cross-funding through land disposals and homes for sale.

High quality and environmental standards are inherent to the CIP and new homes are built to M4(2) standards (formerly Lifetime Homes standards). Public consultation is fundamental to development of CIP projects.

Tybalds Estate



MAP OF LB CAMDEN

1.5 THE ARCHITECTS

MATTHEW LLOYD ARCHITECTS

Matthew Lloyd Architects are an award winning and client-centred RIBA Chartered Practice, based in Shoreditch, East London.

We create sensitive, innovative, contextual architecture in London settings. Our buildings are grounded in their unique place, both in terms of the people who derive meaning from them, and their local character, setting and history.

We are typically engaged by our clients from inception to completion, and have a strong portfolio of significant projects, which we have delivered successfully, often exceeding our clients' expectations.

Our work is disciplined and rational, but at the same time inventive and responsive. We have a particular interest in design quality and strive to achieve the best results through collaborative working with consultants and contractors alike.

We are experienced at the delivery stages of projects and take particular pride in the detailing and finishes of the completed building.

Key projects include: Regent's Park Estate, St Mary of Eton, Bourne Estate and Longford House.

BOURNE ESTATE, CAMDEN

No of Flats: 78
Status: Completed 2017
Client: LB Camden



REGENT'S PARK ESTATE, CAMDEN

No of Flats: 84
Status: Completed 2018
Client: LB Camden



1.5 THE ARCHITECTS

LONGFORD HOUSE, CAMDEN

No of Flats: 22
Status: Completed 2021
Client: British Land



FRAMPTON PARK, HACKNEY

No of Flats: 47
Status: Completed 2016
Client: Telford Homes



ST MARY OF ETON, HACKNEY WICK

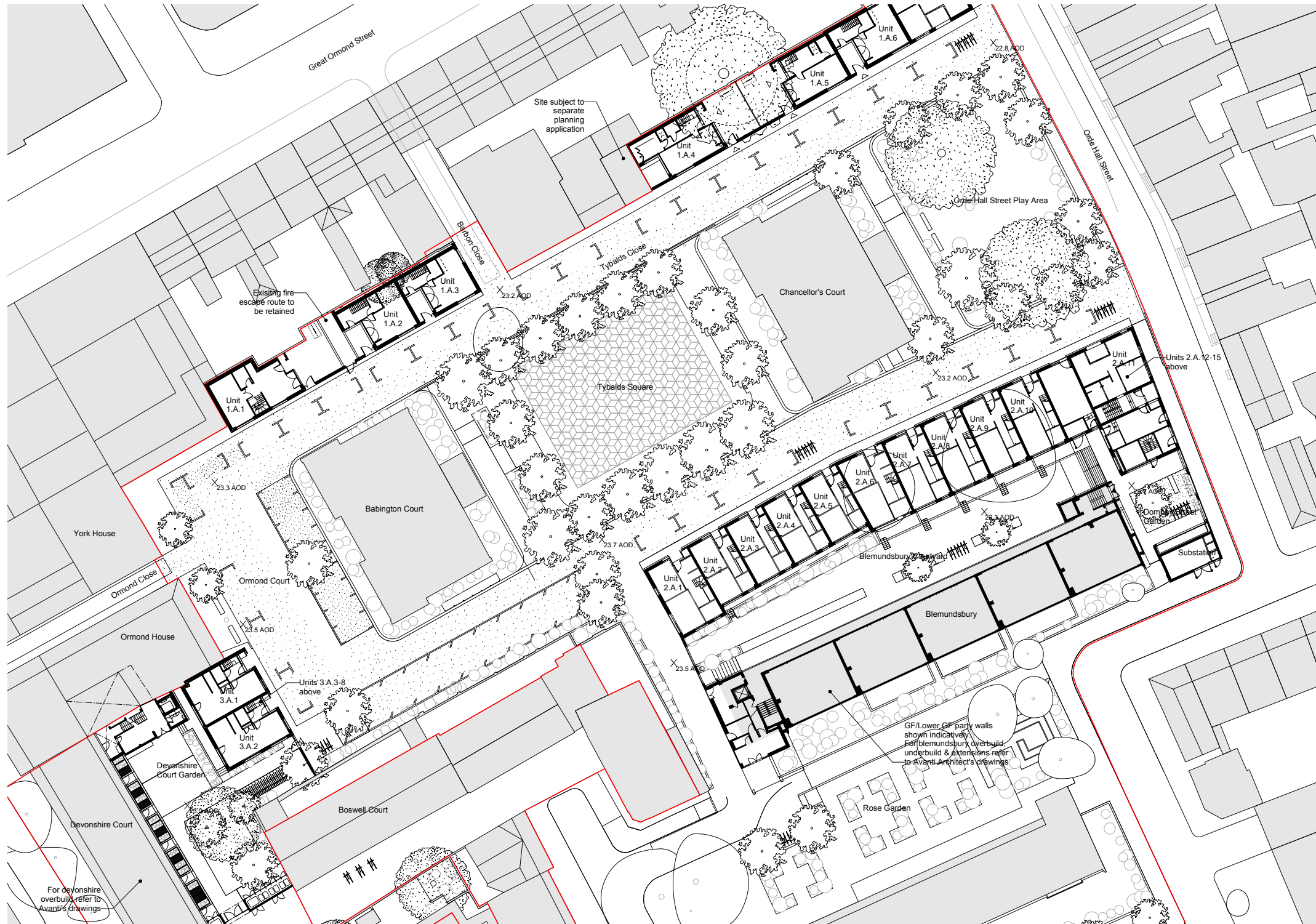
No of Flats: 27
Status: Completed 2014
Client: PCC of St Mary of Eton, Thornsett Group & London Diocesan Fund



2 PREVIOUS CONSENTED SCHEME

2.0 PREVIOUS CONSENTED SCHEME

PREVIOUS SCHEME - OVERVIEW



PREVIOUS CONSENT - GROUND FLOOR OF TYBALDS SQUARE

2.0 PREVIOUS CONSENTED SCHEME

PREVIOUS SCHEME

Planning permission was approved in May 2014 (ref. 2013/1014/P) for development at Tybalds Estate comprising of:

“Mixed use development to provide 93 mixed tenure residential units (Class C3), alterations to existing dwellings and entrances, 249 sqm of new/replacement community facilities (Class D1) an energy centre, refuse, cycle and caretakers facilities and associated landscape and public realm improvement works. The provision of a new internal access road and the reorganisation of car parking within the site and the surrounding area.”

The above consent was amended a number of times and has now expired. A further planning application was submitted in 2016 (ref. 2016/0773/P) which proposed the replacement of 2 blocks of 9 self-contained flats on Orde Hall Street, known as the bookends, with two 3 storey blocks to provide a combined hostel of 21 en-suite bedrooms with communal facilities for use by parents/carers of children being treated at Great Ormond Street Hospital (GOSH). A resolution to grant planning permission for this scheme was made at planning committee on the 21st June 2016, subject to the completion of a legal agreement.

Reasons for Re-Design:


The original Tybalds Estate planning permission was not progressed for a number of reasons. A key reason being that the high build costs associated with delivering the scheme meant that it was not viable.

Area 1: Main Square and Mews

This area sits around the 14 storey blocks of Chancellors and Babington Court, to the south of houses on Great Ormond Street and to the west of Orde Hall Street.

The proposals:

- 9 new two and three storey homes
- Public realm and landscape improvements including a new urban square, new tree planting and rearranged parking and access arrangements.




Area 2: Blemundsbury

This area is focussed on the 10 storey Blemundsbury Court.

The proposals:

- 16 new homes in a two and three storey block to the north of Blemundsbury and near to Orde Hall Street
- 16 new homes in washroom extensions, overbuilds (rooftop), and as underbuilds (lower ground)
- Improvements and reorganisation of the community space
- New entrances including secure bin storage, cycle storage and courtyard space
- New CHP plant at basement level of the new block
- New overcladding of the ends of Blemundsbury and the staircase towers




Area 3: Devonshire Court

This area is focussed on and to the rear of the 5 storey Devonshire Court which fronts onto Boswell Street.

The proposals:

- 7 new homes in a new block to the rear of Devonshire Court
- 2 new homes at roof level above Devonshire Court
- New staircase with lift access shared between the existing and new block
- A new semi-private landscaped courtyard including cycle parking and bin storage
- Improved appearance to the back of retail units in the ground floor of Devonshire Court




Area 4: Windmill

This area includes 7 storey Windmill

The proposals:

- 6 new homes as an extension of the existing unused washrooms at the eastern end of the block
- Improved entrance arrangements at the western end, including bin storage and cycle facilities
- Replacement storage for residents on the estate as whole in the currently unused basement of the block




Area 5: Richbell and Springwater

This area includes the 6 storey Richbell and Springwater blocks and the courtyard they share between them.

The proposals:

- 13 new homes in a new seven storey building to the south of Richbell
- 6 new homes at rooftop and lower ground level in Richbell
- 8 new homes as a side extension or rooftop development at Springwater
- Courtyard improvements including new planting and paving
- Replacement caretaker facilities below Springwater





Area 6: Falcon

This area includes the 7 storey Falcon block and the courtyard space to the rear.

The proposals:

- 9 new homes in washroom extensions and at roof top level
- Courtyard and landscaping improvements
- Improved and upgraded community space





©TYBALDS FEBRUARY 2013

Tybalds Estate Regeneration SD1 Planning, Design and Access Statement 3

Previous scheme DAS - submitted by Duggan Morris Architects, Mae, Avanti Architects and Comlins in February 2013

2.0 PREVIOUS CONSENTED SCHEME

PREVIOUS SCHEME

The revised design seeks to improve this amenity area for both existing and new residents and to break down the footprints of the new build development across the Estate.

Some elements of the original scheme have been carried forward into the new scheme, including:

- The provision of a more usable and clearly defined publicly accessible square in the centre of the Estate;
- Improving connectivity to provide clear routes across the Estate for non residents so that the Estate is accessible for both residents and non residents;
- Retaining the Orde Hall Street play area

The revised scheme retains elements of previous scheme such as the mews terraces, the notion of bookends at the entrance to the estate from Orde Hall Street and the enhancement of Tybalds Square. A departure from the earlier scheme shows a new purpose built residents hall facing on to the square with 6 flats for social rent above. This adds greater value to both community facilities as well as providing an edge to the square .

5.0 Design proposals (Buildings and Landscape)

5.1 Architectural Proposals

This section describes each of the detailed proposals for each development area. The design team have ensured that the new-build and additions form part of a coherent strategy for the area, both in terms of the urban design and approach to materials.

The following sub-sections (5.2 to 5.7) describe the project areas 1-6 in more detail in terms of urban design, architecture & landscape design. Locators along the edge of the right-hand-side page identify which area is being referred to, as follows:

- Area 1: Main Square and Mews
- Area 2: Blemundsbury
- Area 3: Devonshire Court
- Area 4: Windmill
- Area 5: Richbell and Springwater
- Area 6: Falcon

An overall approach to materials and detailing in both the buildings & landscaping is discussed in sub-sections 5.8 and 5.9 respectively.



Model of the complete scheme



View of Tybalds Square seen from the north



View of model looking towards Tybalds Square from the South with overbuilds & side extensions on Falcon, Richbell & Springwater in foreground



Aerial overview of Tybalds Close Estate proposals looking from the West



Aerial overview of Tybalds Close Estate proposals looking from the East



Previous scheme DAS - submitted by Duggan Morris Architects, Mae, Avanti Architects and Comlins in February 2013

3 THE EXISTING SITE

3.0 SITE DISTRICT

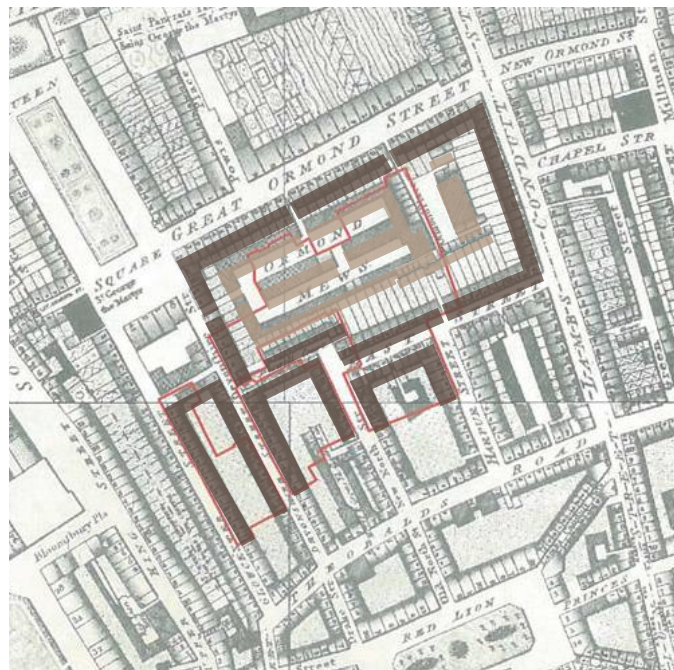
URBAN CONNECTIVITY

Tybalds Estate sits to the south of Great Ormond Street Hospital between Russell Square and Holborn. There are strong public transport links and the Estate has a PTAL rating of 6a.



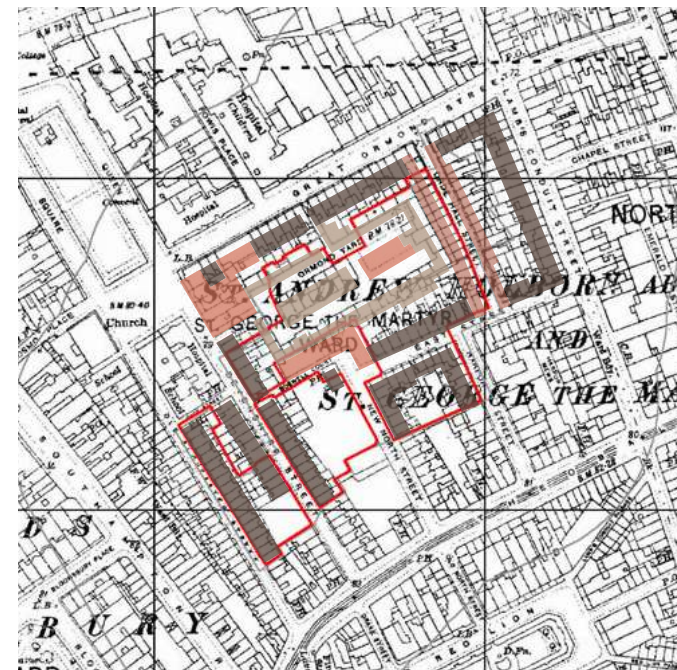
3.1 SITE HISTORY

HISTORICAL MAPPING



1799 - 1819

- City block of terraces and mews houses
- Two public entries on Great Ormond Street, one public entrance on Harpur Street and one public entrance on Devonshire Street.
- Boswell Close similar to modern day layout.
- Separate mews courtyard where Orde Hall Street now sits.



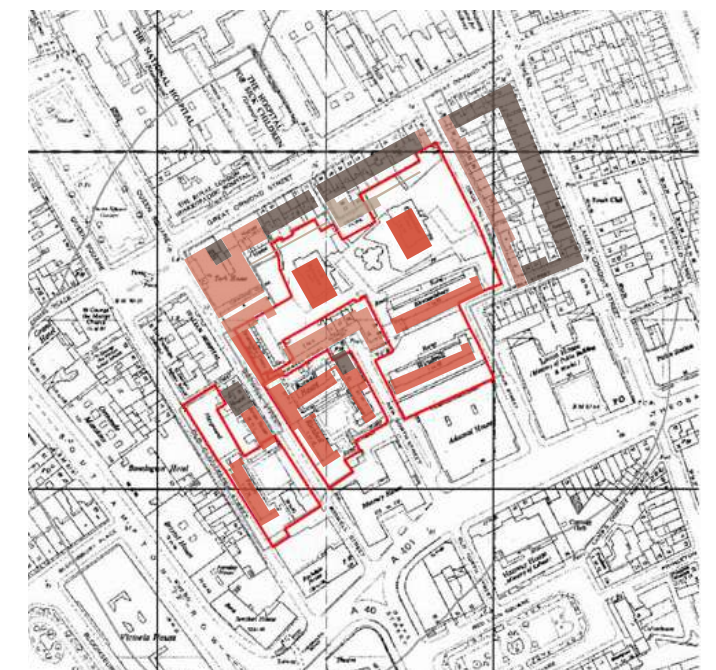
1916

- Greater variation in building height and typology.
- New 19/20th century structures densify blocks.
- Fragmentation of clear terrace and mews structure.
- Orde Hall Street established - creation of corner entrance buildings and symmetrical terraces.



1916-1939

- Minor war damage with further demolition post war.
- Construction of slab blocks: Blemundsbury, Windmill, Springwater, Richbell and Falcon.
- Gaps in formally continuous Ormond Close facade.
- Rear of west Orde Hall Street terrace faces onto Ormond Mews.
- Orde Hall Street intact, entrance buildings at north and south ends exist.
- Terraces with central garden where Devonshire Court sits today.
- Boswell Court 1930



1947-1968

- Demolition of west side of Orde Hall Street.
- Construction of Babington and Chancellors Court.
- Construction of Devonshire Court.
- Demolition of all remaining mews houses except for Barbon Close.
- Ormond Close no longer exists as an enclosed space. Changed to modernist landscape with an open layout with largely undefined outdoor spaces faced by backs.

3.2 SITE

GREEN & OPEN SPACES

The northern part of the existing estate represents a large open space within the immediate district. There is the potential to intensify its use as a public space within the city.

Further information on this aspect is covered within the Landscape Design and Access report.



 Green Open Space
KEY

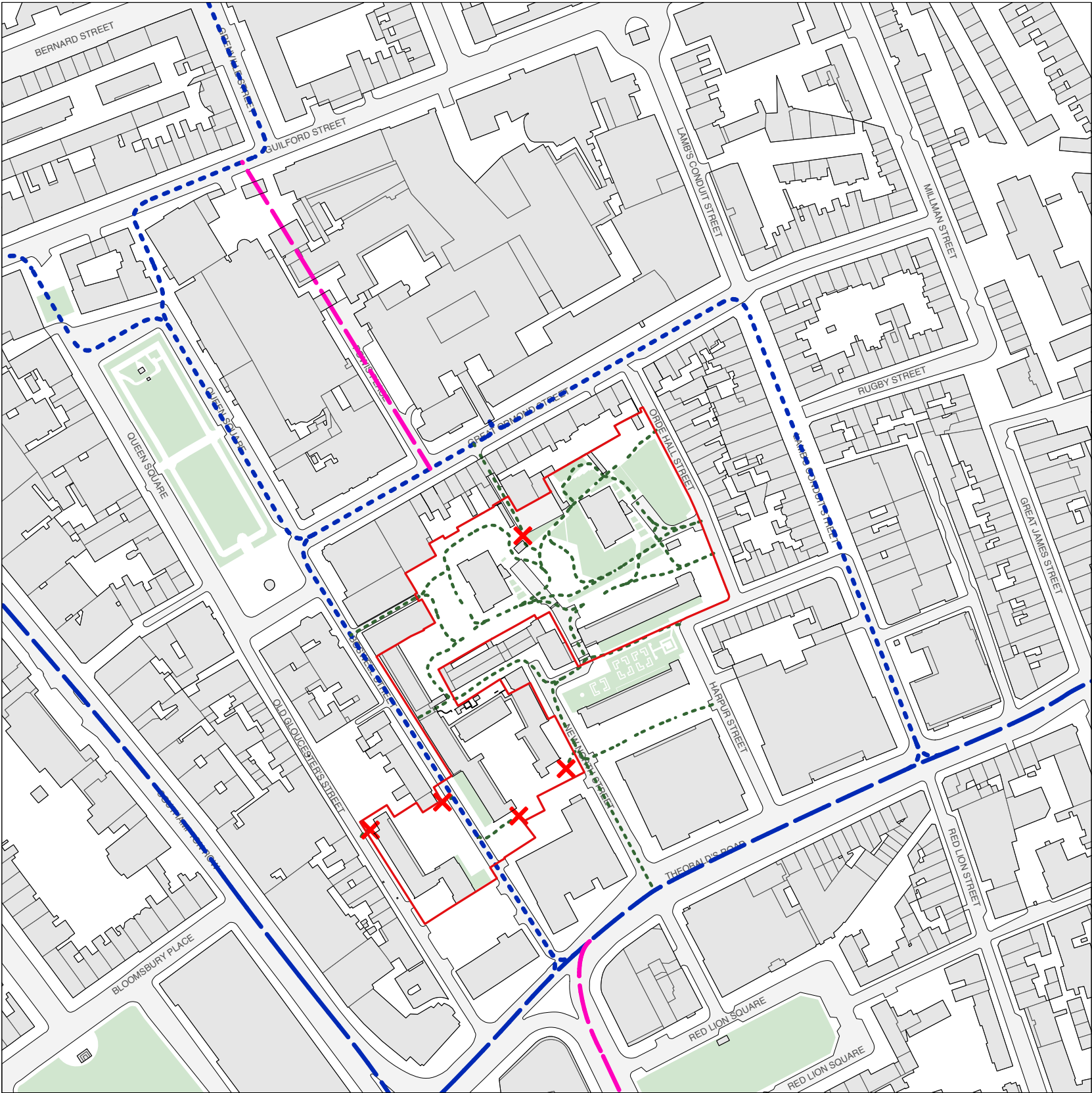
3.2 SITE

LEGIBILITY & ROUTES

The primary existing city routes generally circumnavigate the estate due to its disjointed and undefined arrangement. There is the potential to enhance this north-south connection and to provide improved connectivity from the Estate to Great Ormond Street Hospital and the future plans to open up Powis Place to create access to Guildford Street to the north. There is also an opportunity to improve connectivity to the south toward Holborn Station.

- Existing Defined Routes
- Existing Un-defined Routes
- Broken Connections
- Strategic Future Connections






KEY



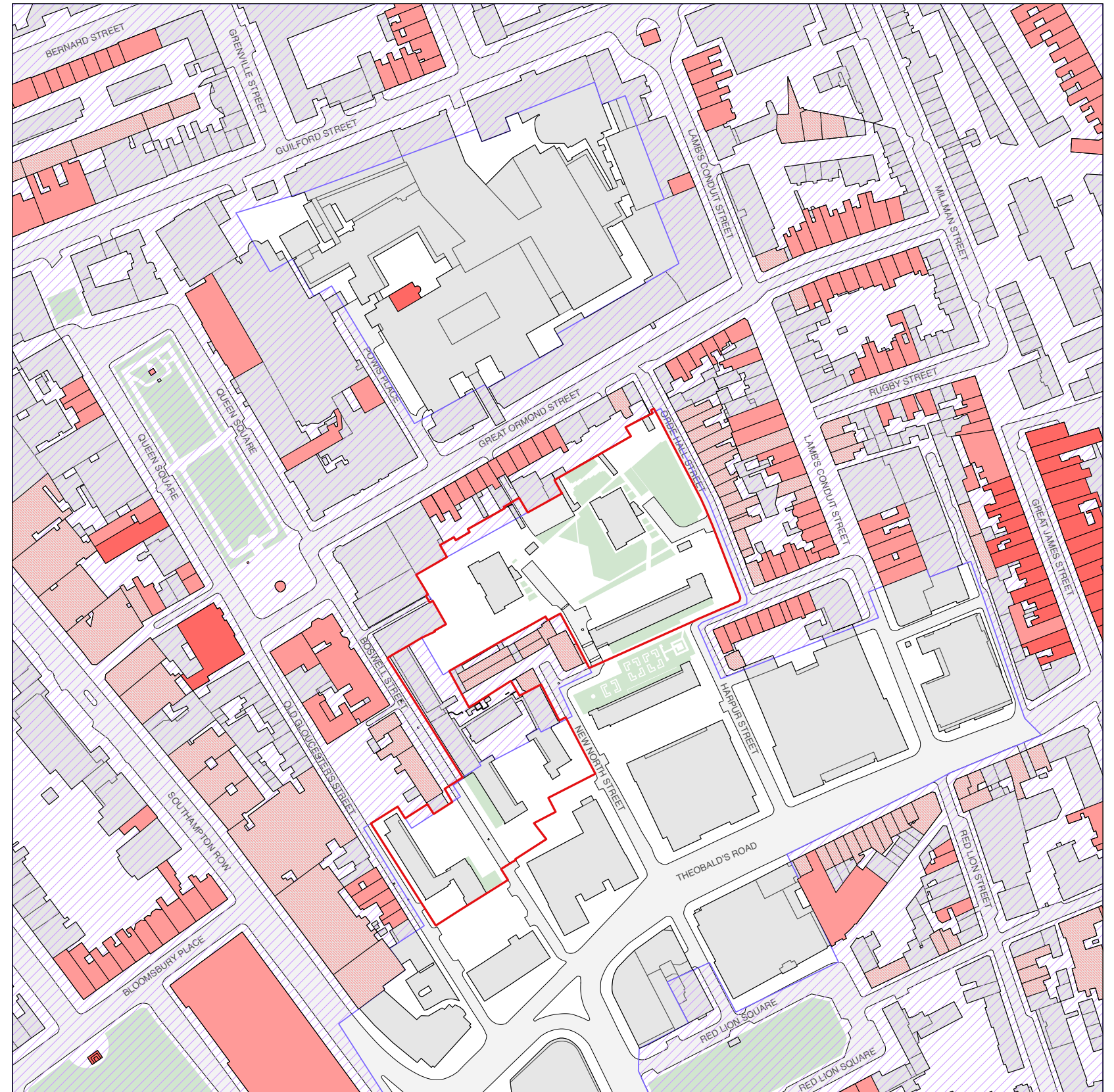
3.2 SITE

HISTORIC CONTEXT

Whilst the majority of the application site has no listed buildings, the far western part of the site is located within the Bloomsbury Conservation Area.

-  Grade I listed
-  Grade II* listed
-  Grade II listed
-  Positive Contribution
-  Bloomsbury Conservation Area

KEY



3.2 SITE

BUILDING HEIGHTS

The surrounding historic context has a prevailing height of 2-4 storeys in a terrace arrangement. This is punctuated by larger and taller urban buildings to the north and south of the site. The estate itself is primarily composed of 7-14 storey modernist blocks.

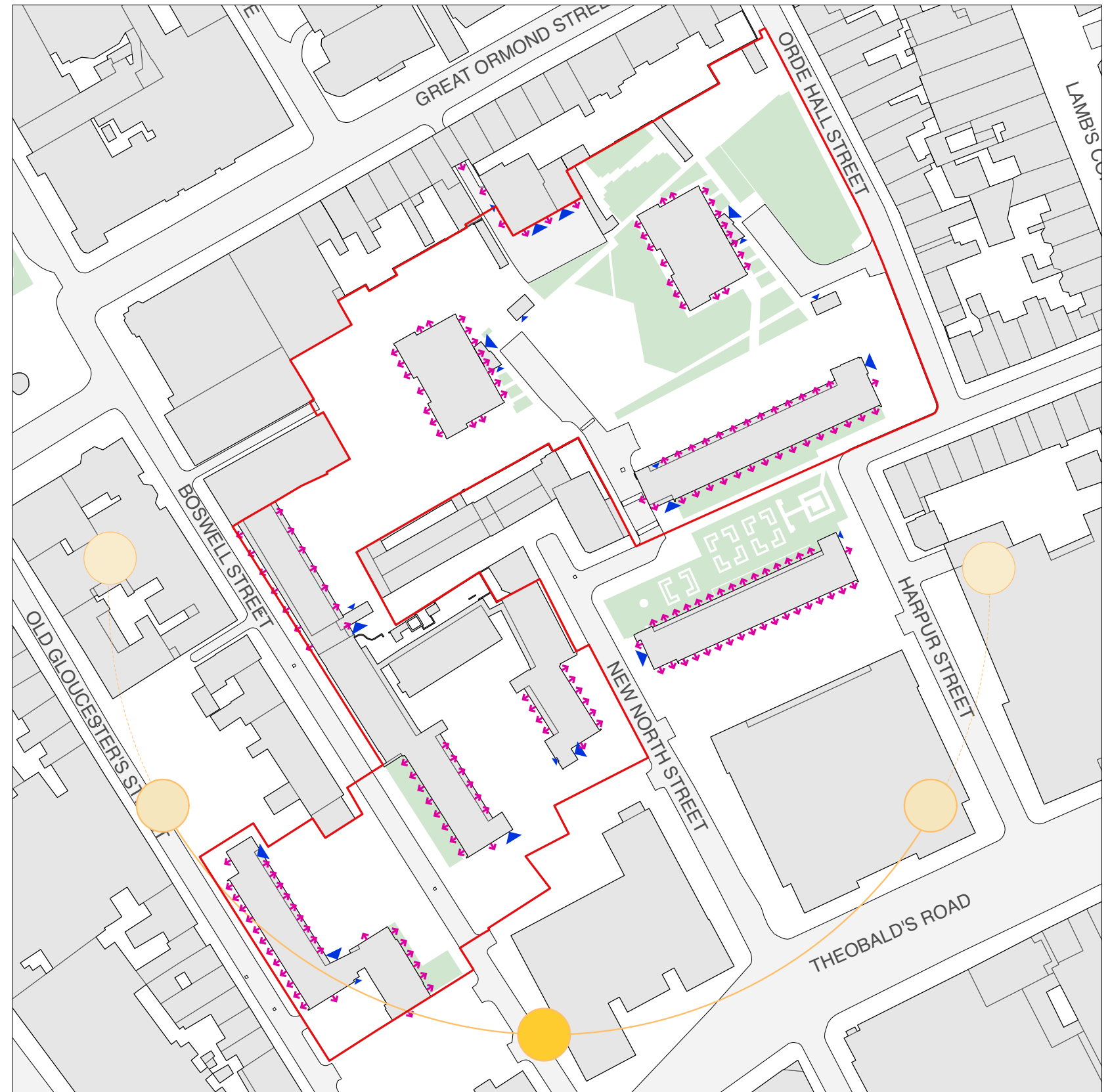


3.2 SITE

ASPECT

Existing estate buildings have daylight aspect to all of their façades. The boundary limitations of the site however, mean that the estate is faced with 'backs' to buildings, such as to those on Great Ormond Street.

The open spaces around the site experience adequate sunlight, although in parts this is occasionally obscured by the large scale of the existing estate buildings such as those of Babington and chancellors tower courts and Blemundsbury.








KEY

3.2 SITE

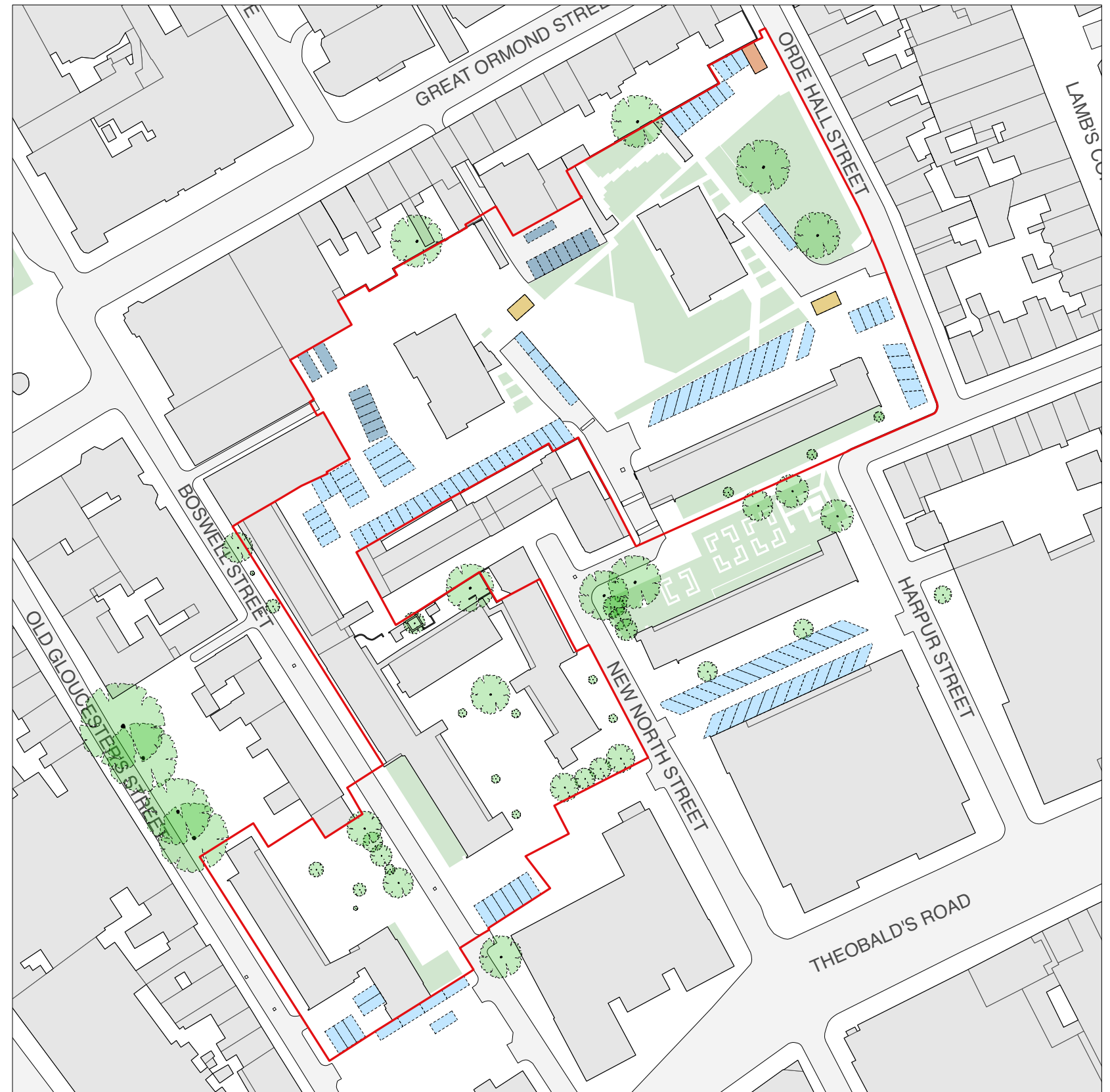
SITE CHARACTERISTICS

There are multiple existing physical factors which have been taken into consideration when designing the proposed scheme, including a variety of parking, mature trees and a substation to be retained.

Refuse stores and collection points are also scattered throughout the estate.

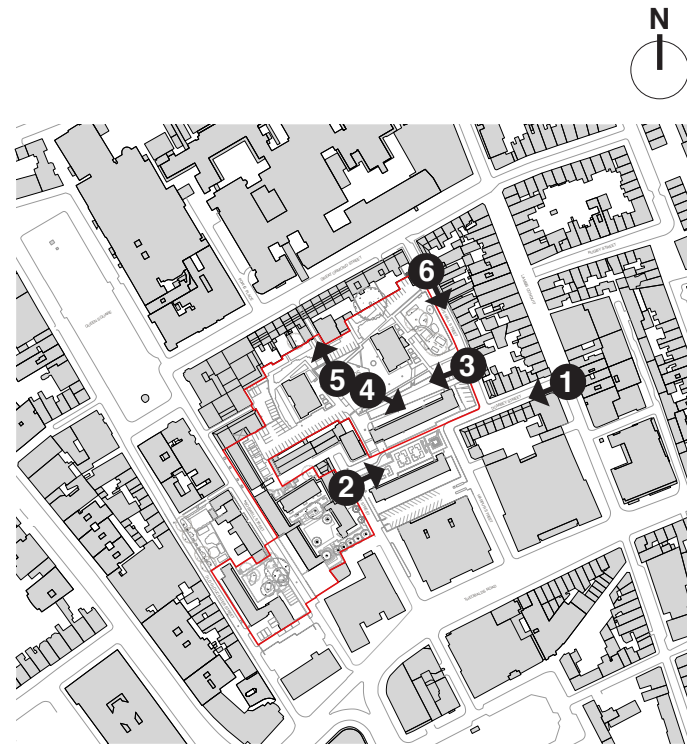
-  Existing Trees
-  Existing Substation
-  Existing Waste Stores
-  Existing Estate Parking
-  Existing Non-Estate Parking

KEY



3.3 SITE PHOTOGRAPHS

SITE CONTEXT PHOTOS



KEY



1. Dombey Street - Looking west with Blemundsbury rising behind.



2. New North Street - Looking east towards Lambs Conduit.



3. Orde Hall Street - Looking west towards Babington Court.



4. Tybalds Estate - Looking east towards Orde Hall Street and Blemundsbury.



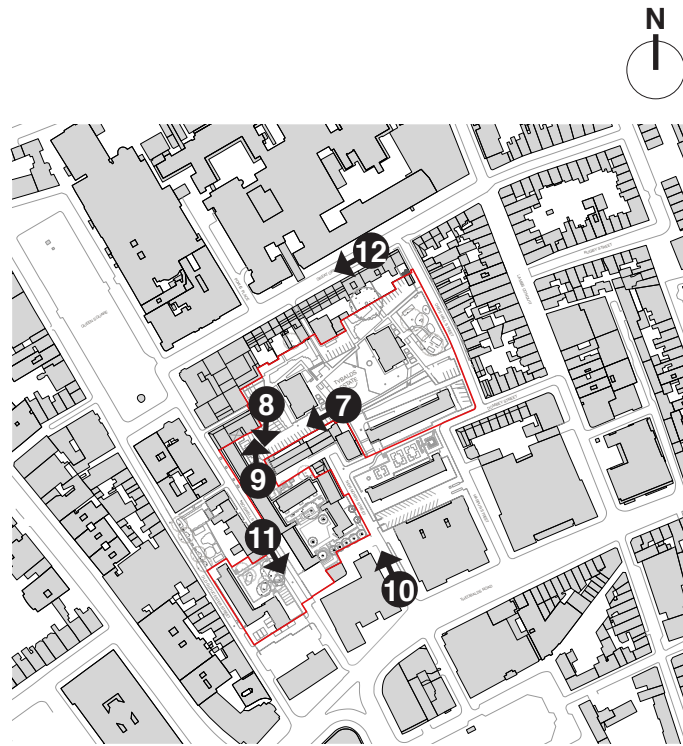
5. Tybalds Estate - Looking north towards Barbon Close and Great Ormond Street.



6. Orde Hall Street - Looking south towards Harpur Street.

3.3 SITE PHOTOGRAPHS

SITE CONTEXT PHOTOS



KEY



7. Tybalds Estate - Looking west towards Devonshire Court.



8. Tybalds Estate - Looking south towards Devonshire Court.



9. Tybalds Estate - Looking north towards Ormond House.



10. New North Road - Looking north towards Tybalds Estate.



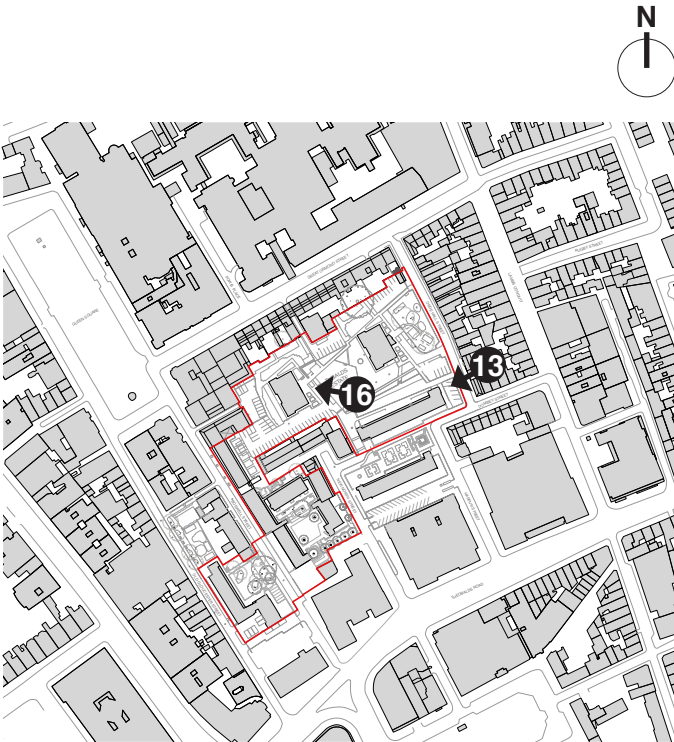
11. Boswell Street - Looking south towards Theobalds Road.



12. Great Ormond Street - Looking west towards Queen Square Gardens.

3.3 SITE PHOTOGRAPHS

ESTATE BUILDING ENTRANCE PHOTOS



KEY



13. Tybalds Estate - Blemundsbury Entrance



14. Tybalds Estate - Underbuild interior.



15. Tybalds Estate - Office space in underbuilds.



16. Babington Court - Tower entrance.



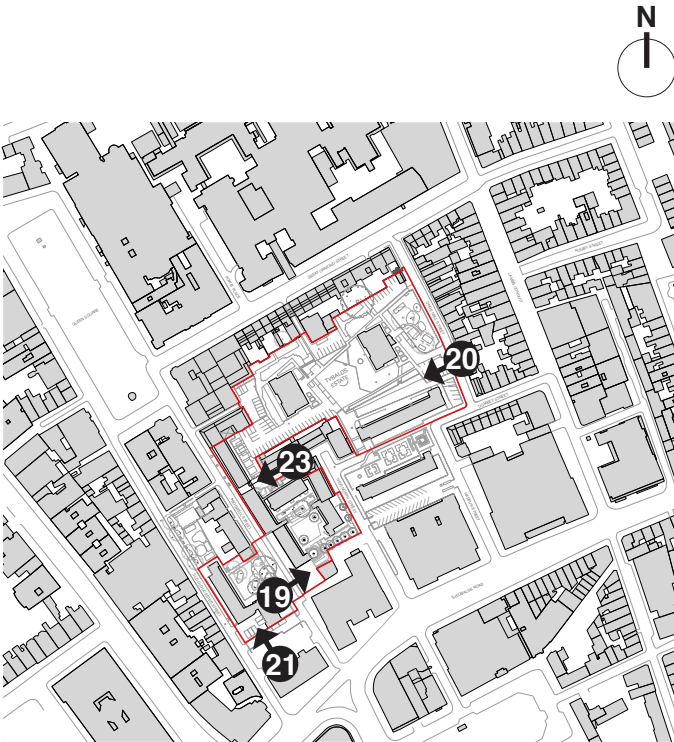
17. Babington Court - Tower entrance interior.



18. Babington Court - Tower entrance interior.

3.3 SITE PHOTOGRAPHS

ESTATE BUILDING ENTRANCE PHOTOS



KEY



19. Richbell - Building entrance.



20. Tybalds Estate - Vehicle entrance.



21. Falcon - Building entrance.



22. Tybalds Estate - Refuse store.



23. Devonshire Court - Staircase tower.



24. Devonshire Court - Communal staircore.

3.3 SITE PHOTOGRAPHS

ESTATE UNDERBUILD PHOTOS



KEY



25. Blemundsbury - Underbuilds.



26. Blemundsbury - Underbuilds.



27. Blemundsbury - Underbuilds.



28. Richbell - Underbuilds.



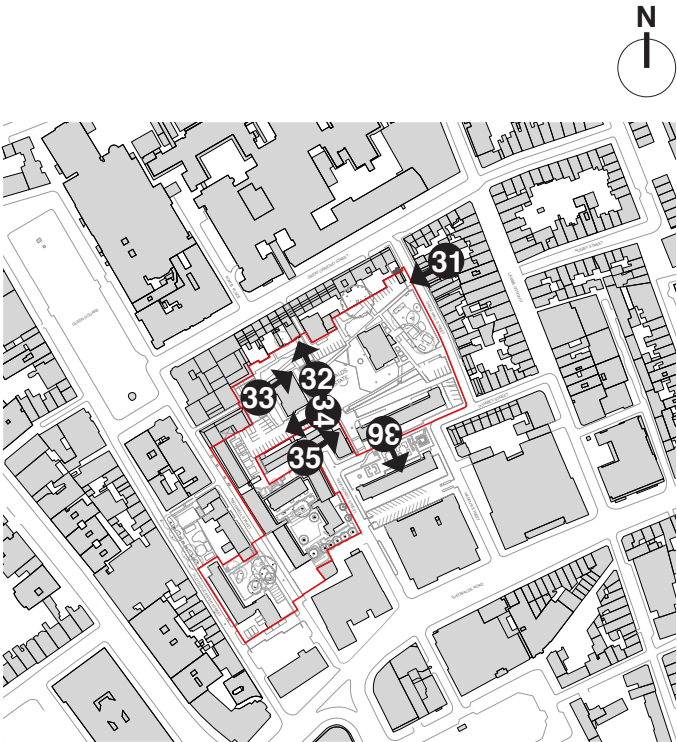
29. Tybalds Estate - Underbuild interiors.



30. Tybalds Estate - Underbuild interiors.

3.3 SITE PHOTOGRAPHS

ESTATE LANDSCAPE PHOTOS



KEY



31. Tybalds Estate - Proposed Eastern Mews location.



32. Tybalds Estate - Concrete planters.



33. Tybalds Estate - Estate bulk refuse.



34. Tybalds Estate - Estate car parking



35. Blemundsbury - Ramp to underbuilds.



36. Windmill - Rose garden.

4 PROPOSED SITE STRATEGY

4.0 EXISTING SITE LAYOUT

EXISTING URBAN GRAIN

The existing estate and its immediate surroundings are quite fragmented in character, with blocks spread out and all positioned strategically within their own unique immediate context.

There is a clear opportunity here to bring together the Estate and unite the various blocks, providing infill development to create a more coherent sense of place and identity.



KEY



4.1 PROPOSED SITE STRATEGY

REVISED URBAN GRAIN

REFINING BUILDING BLOCKS

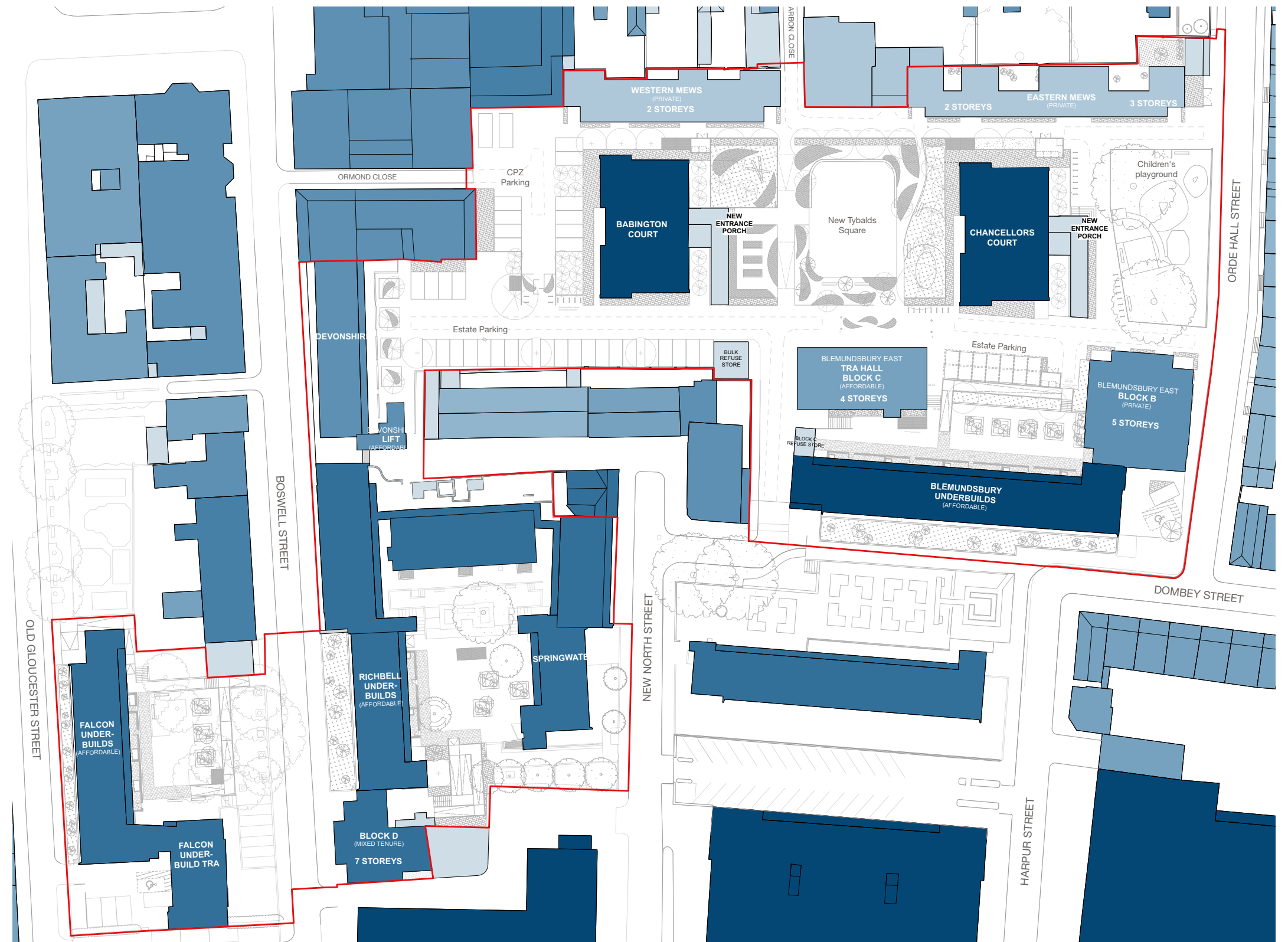
- The building blocks are designed to sit comfortably within the existing context and constraints.
- The minimum separation between existing and proposed blocks creates a series of communal gardens reacting to the existing grain of Bloomsbury.

The proposed blocks all respond to their neighbouring building massings through their careful design. The local massing varies between 3-4 storeys to 10+ storeys. The new blocks work to mediate the height contrast across the Estate.

Setbacks and recessed entrances are used to create unique, sculpted and crafted designs in the complex context.



KEY



4.1 PROPOSED SITE STRATEGY

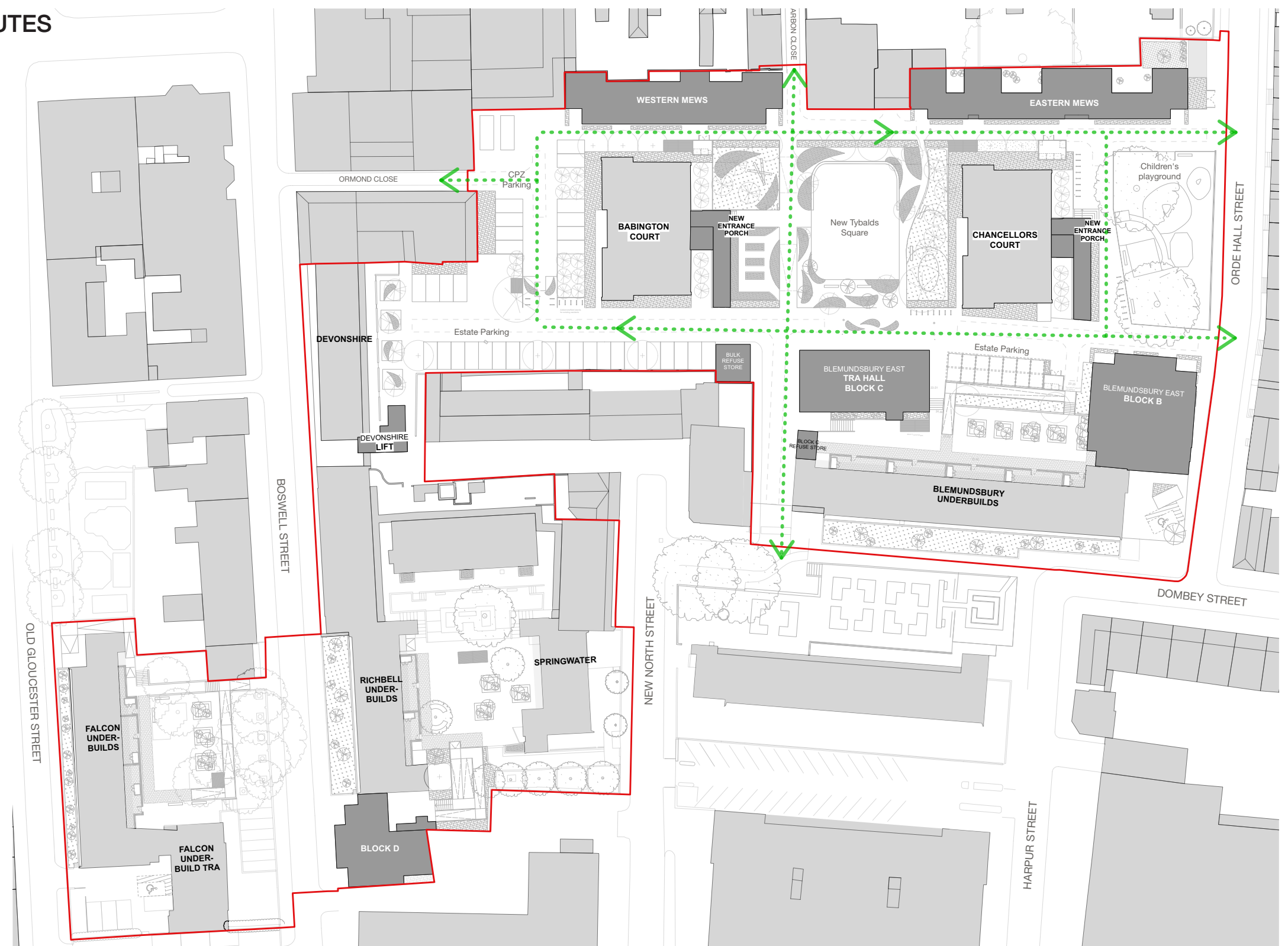
CREATING BETTER PEDESTRIAN ROUTES

NORTH-SOUTH ROUTE

- Creating an alternative route between King's Cross and Holborn through the site, with Great Ormond Street Hospital as a visible node.
- A formal square on the route at the centre of the estate stitches it back into the city.
- A strong north-south connection will improve connectivity for the area.

EAST-WEST SPINE

- Re-defining the East-West route as a pedestrian spine with limited vehicular access.
- Restructuring Tybalds Square and Ormond Close as key places along the route, together with Blemundsbury Courtyard.



←...→ Proposed key routes

KEY

4.1 PROPOSED SITE STRATEGY

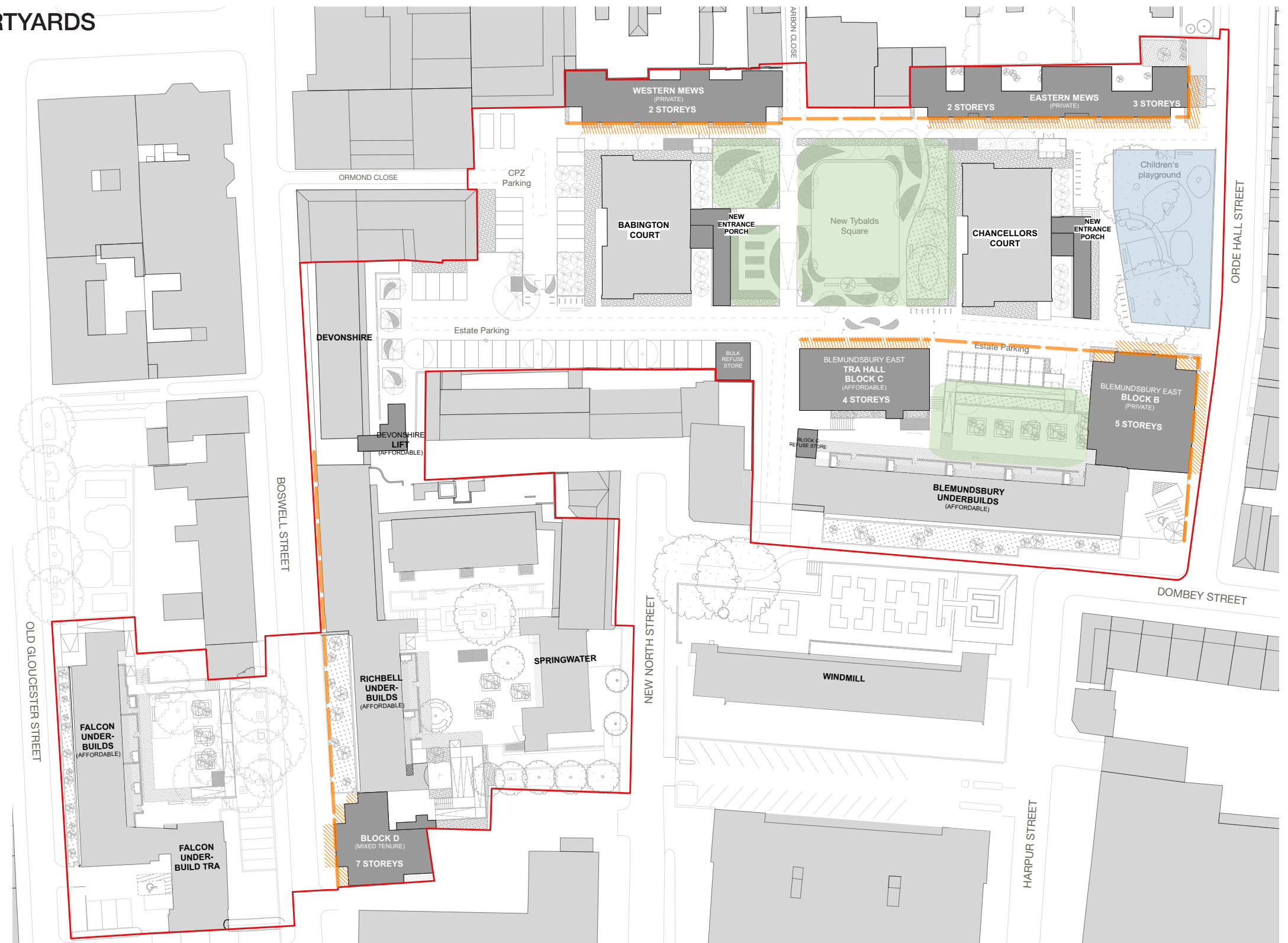
CREATING BETTER STREETS & COURTYARDS

DEFINING SPACE

- Creating frontages by converting the 'backs' into fronts through built fabric.
- New fronts such as those of the Mews Houses help formalise Tybalds Square.
- The new north-south and east-west routes become clearly defined pedestrian paths.

All the proposed buildings are a continuation of the existing blocks' perimeter. The Mews Houses create a new pedestrian street by filling in the gaps to the south of the estate in a rhythmical pattern. Blocks B and C form a new courtyard with the existing Blemundsbury, and the setback storeys of Block B allow it to respond also to the houses to the East on Orde Hall Street. Similarly, Block D follows the existing street-scape and approach in its adjacency to Richbell.

- KEY**
- New Courtyards and Squares
 - Existing court playground
 - Creating streets
 - Creating frontages



4.1 PROPOSED SITE STRATEGY

HEIGHTS AND SCALE

All of the proposed buildings' height mostly sits below that of the existing neighbouring buildings.

Careful attention to detail has been key in designing these blocks, especially Block B's East elevation which addresses the smaller scale of the houses on Orde Hall Street by setting back the building on the upper floors on its eastern facade.



PROPOSED SITE SECTION LOOKING SOUTH



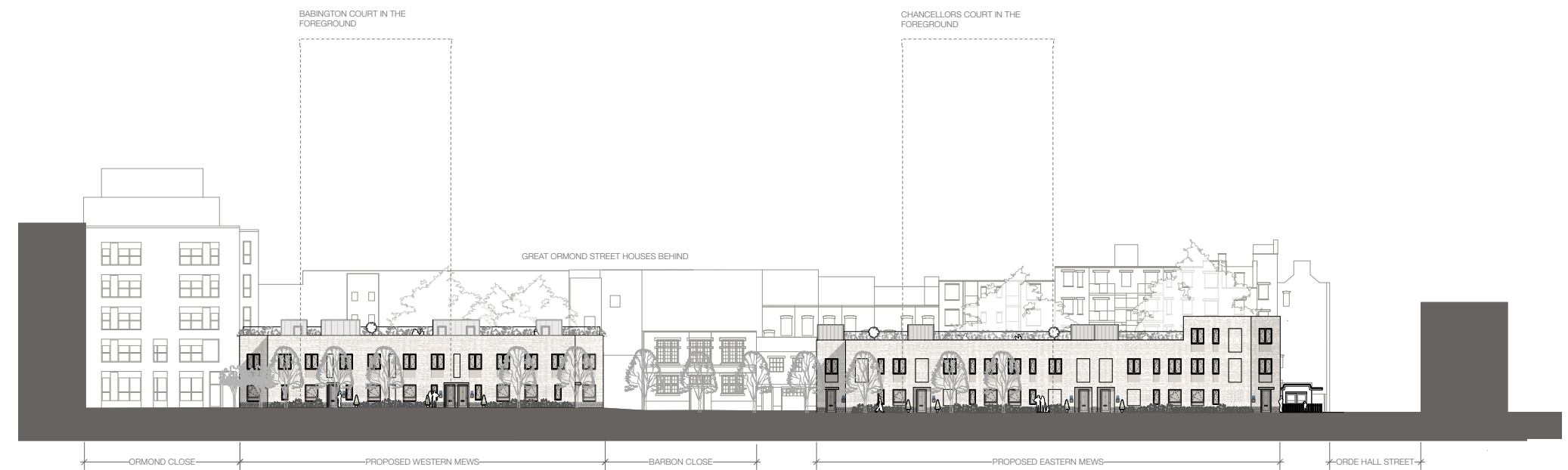
PROPOSED SITE SECTION LOOKING WEST

4.1 PROPOSED SITE STRATEGY

HEIGHTS AND SCALE

The Mews Houses also follow the existing neighbouring buildings' height and proportions, to allow for continuation of language and scale in forming a new street.

Although Block D's parapet is slightly higher than that of Richbell, it acts as a mediating building between Richbell and the large Mediacom building.



PROPOSED SITE SECTION LOOKING NORTH



PROPOSED SITE SECTION LOOKING EAST

5 SCHEME DEVELOPMENT

5.0 LOCAL AUTHORITIES CONSULTATIONS

LOCAL AUTHORITY & STATUTORY BODIES

This is a summary of consultations with local authorities and planners that have taken place since April 2019. It highlights the main architectural comments and concerns that were raised, which have structured the development of the design.

Further details of the consultation activities are set out in the Statement of Community Involvement submitted with the planning application.

18.04.2019

Pre-App 01

- Initial site strategy discussed and reviewed
- Public realm ideas outlined
- Position of new blocks A-E discussed
- GOSH Blocks G & H also proposed
- Initial elevational concepts presented
- Planners response broadly supportive, especially given this early stage.
- Height of Block C questioned and discussed
- Early materiality strategy discussed

14.05.2019

London Borough of Camden Design Review Panel 01

- The proposals for individual buildings and their footprints are successful
- The panel is broadly supportive of the proposed heights, subject to testing their impact on the microclimate of the external spaces created.
- A model of the site will be essential in informing decisions about scale, massing and architecture.
- The main area in which the panel feels much more work needs to be done is on the spaces between buildings, and on the relationship between ground floor uses and adjacent external spaces.
- It is impressive that so much additional accommodation will be created without the need for any demolition and the attendant decanting of existing residents.

15.07.2019

Secure By Design Meeting with Jim Cope, Design Crime Out Officer

- The general strategy appears to be acceptable with no specific aspect of the proposal causing any major concern.
- Reduce permeability to the site where possible and have clearly defined routes where permeability is retained.

02.08.2019

London Borough of Camden Design Review Panel 02

- DRP panel continue to be supportive of the project
- Questions asked about the general building heights and whether or not these could be increased in places - increasing the amount of new housing provided
- Discussions about how the TRA presents itself to the new Tybalds Square

19.11.2019

Pre-App 02

- All aspects of the buildings' detail design discussed and reviewed
- Introduction of Mews Houses by MLA
- Block H still in the scheme at this point
- Position of GOSH within the project debated

20.01.2020

Pre-App 03

- Block G and D proposed for GOSH although these will not form part of Camden's planning application
- Block H removed from the scheme due to being unviable
- Indicative landscape in proposals shown
- Further work required to confirm car parking requirements including reduction of CPZ quantum of parking
- Visibility of existing sub-station on Orde Hall Street discussed
- Viability of converting end Mews house to 3 flats
- Block B discussed in detail - ground floor to be more animated. Possible linked canopy between Blemundsbury and Block B. Further set back on top floor at Orde Hall street suggested
- Daylight/Sunlight to be justified for Block B
- TRA hall within Block C to be celebrated more
- Role and planning use of GOSH blocks discussed

31.03.2020

Pre-App 04

- Consider slightly re-aligning Block B and reducing somewhat its architectural detail on Orde Hall street
- TRA hall still not celebrated adequately: needs to be more civic
- Height of end mews house debated although flats here agreed not viable
- Questions as to whether mews pop-ups should be in zinc or other material
- Draft viability appraisal needed soon
- Separate GOSH pre-application suggested
- Further landscape details considered at the meeting
- Consideration to be given to the amount of fencing and whether or not gates should be removed from public realm design

22.02.2021

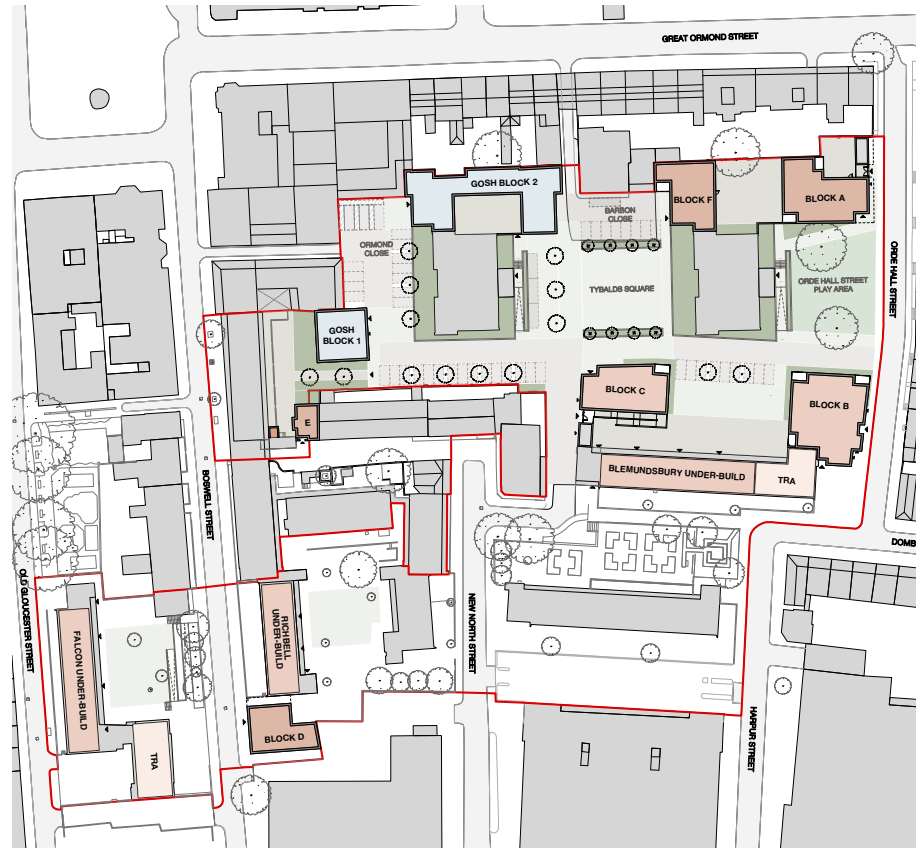
Pre-App 05

- C3 housing scheme only, GOSH no longer involved.
- The use of gates strongly discouraged by the planners
- The importance of high quality public realm to knit the estate into this part of Bloomsbury is key
- Block D balconies to be solid on the lower floors
- Overlooking distances to rear of Eastern Mews questioned; front doors to have more articulation.
- Try to create rear aspect to Western Mews rather than single aspect houses.
- Too many gates ramps and fences to Falcon underbuilds
- Further discussions about the detailed architecture of Block B
- Ball-court within Tybalds Square to have greater flexibility. Suggest further consultation with young people. Could the fence to the south of ball-court be removed?

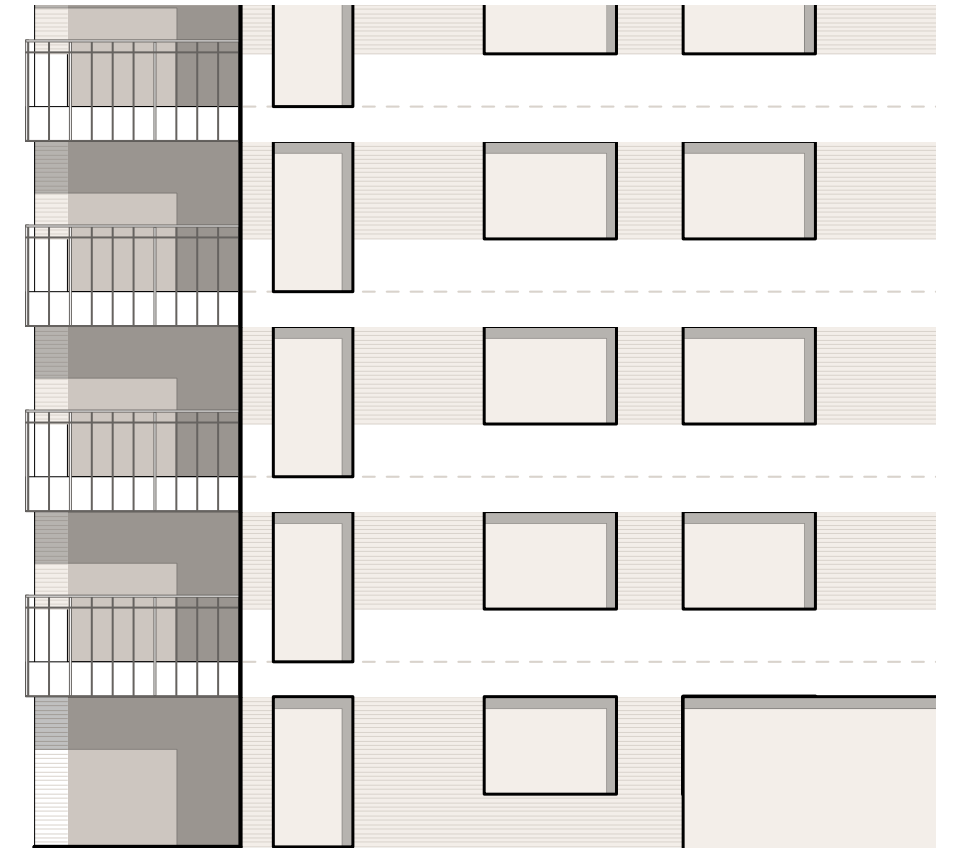
5.2 PRE-APP

1ST PRE-APP APRIL 2019

- Setting up initial design principles across the site
- Locating blocks so as to fit comfortably within the existing complex
- Initial height and massing proposals to respond to various aspects of the site.



SITE - MASTERPLAN



MATERIALITY

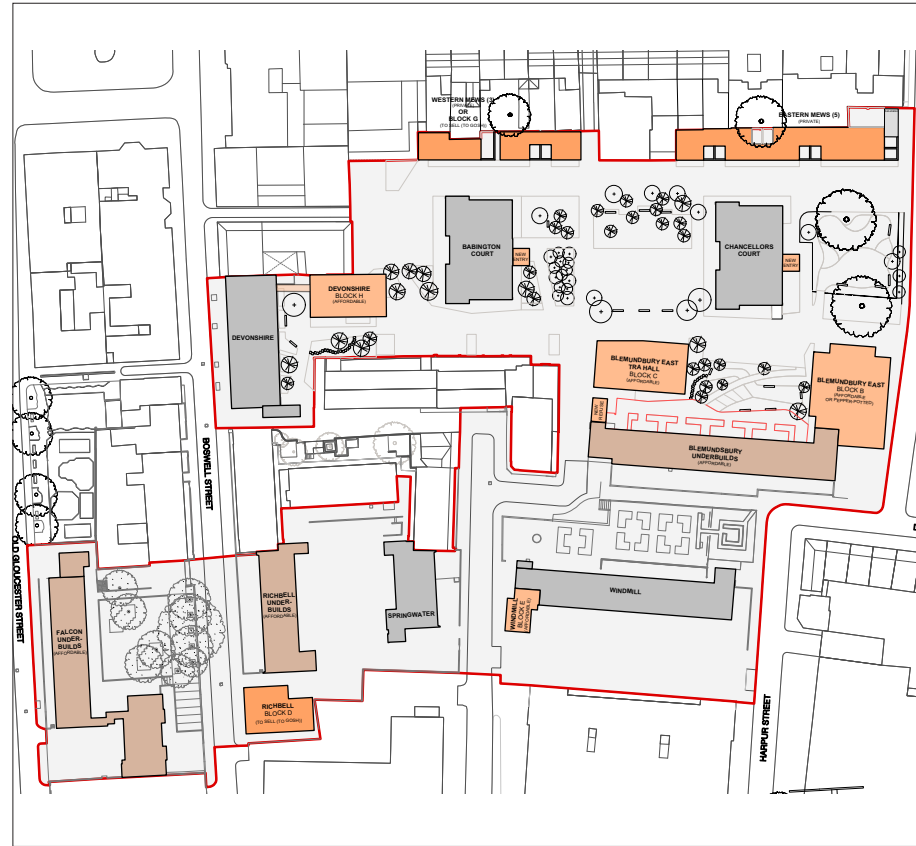


SITE - NORTH ELEVATION

5.2 PRE-APP

2ND PRE-APP NOVEMBER 2019

- Establishment of mews houses to provide greater space and privacy to the existing tower blocks, creating a new street.
- First proposals for materiality and colour, picking up elements from the existing blocks.
- Creating a hierarchy of floors through facade studies



SITE - MASTERPLAN



MATERIALITY

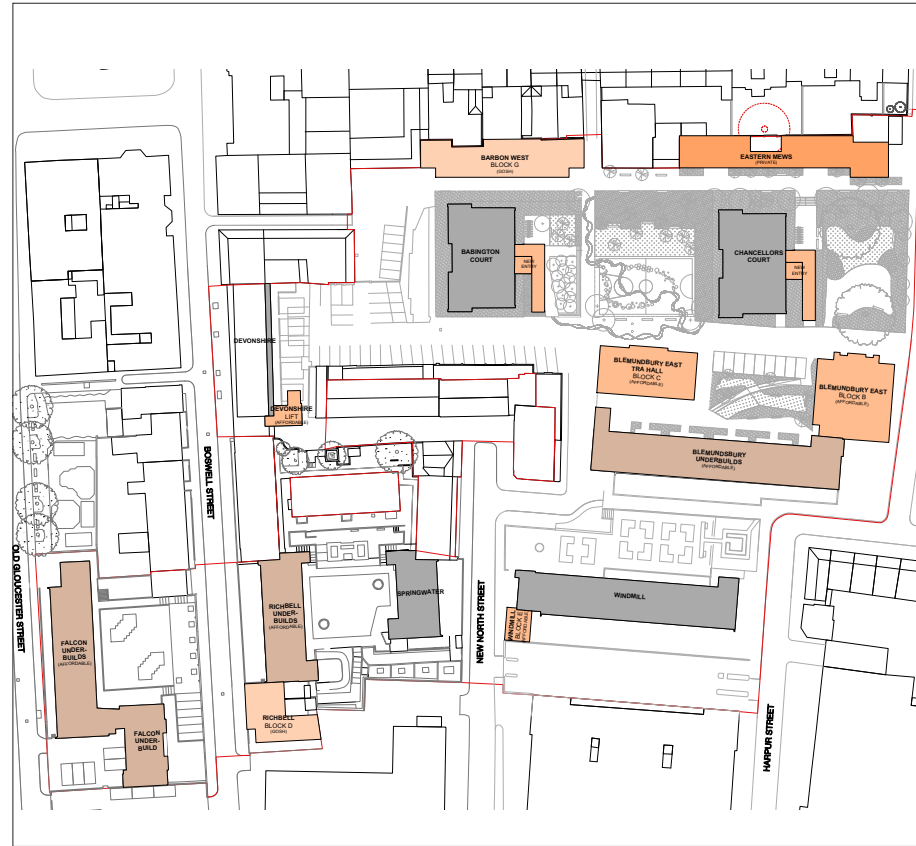


SITE - NORTH ELEVATION

5.2 PRE-APP

3RD PRE-APP JANUARY 2020

- Refining height & materiality across the site through various iterations.
- Sculpting the blocks to suit their individual and unique sites
- Developing Tybalds Square to create a series of soft and hard landscaped designed spaces.



SITE - MASTERPLAN



MATERIALITY

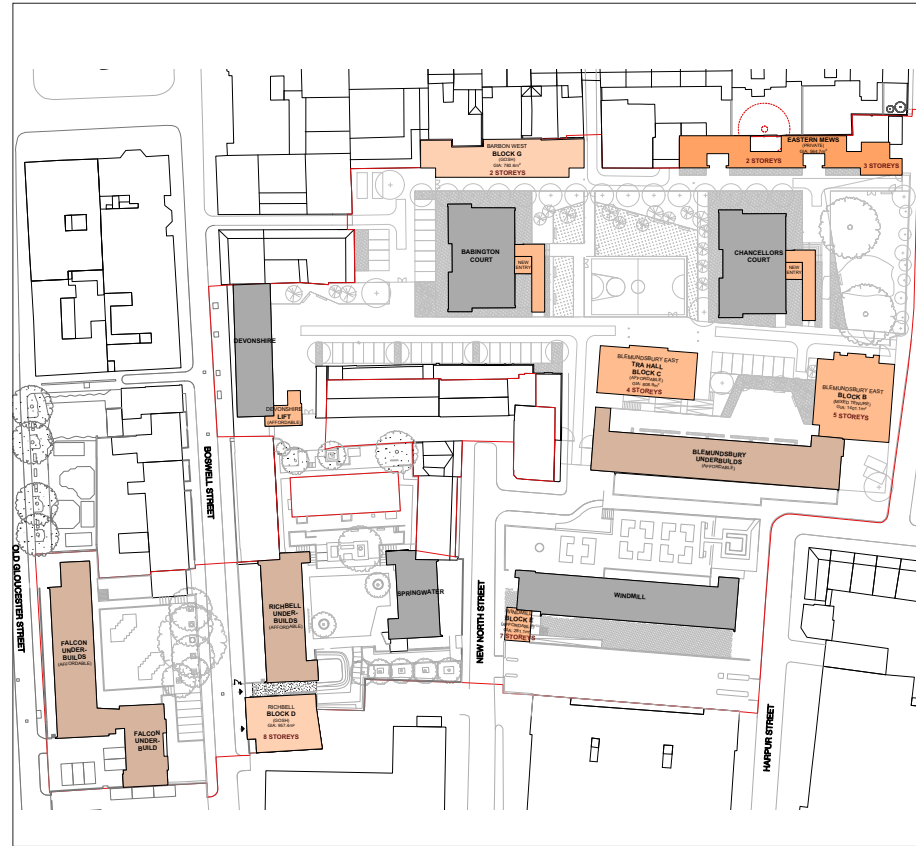


SITE - NORTH ELEVATION

5.2 PRE-APP

4TH PRE-APP MARCH 2020

- Refining the masterplan and working with GOSH for Blocks D and G
- Developing detailed elevations with refined material palette and hierarchy



SITE - MASTERPLAN



MATERIALITY

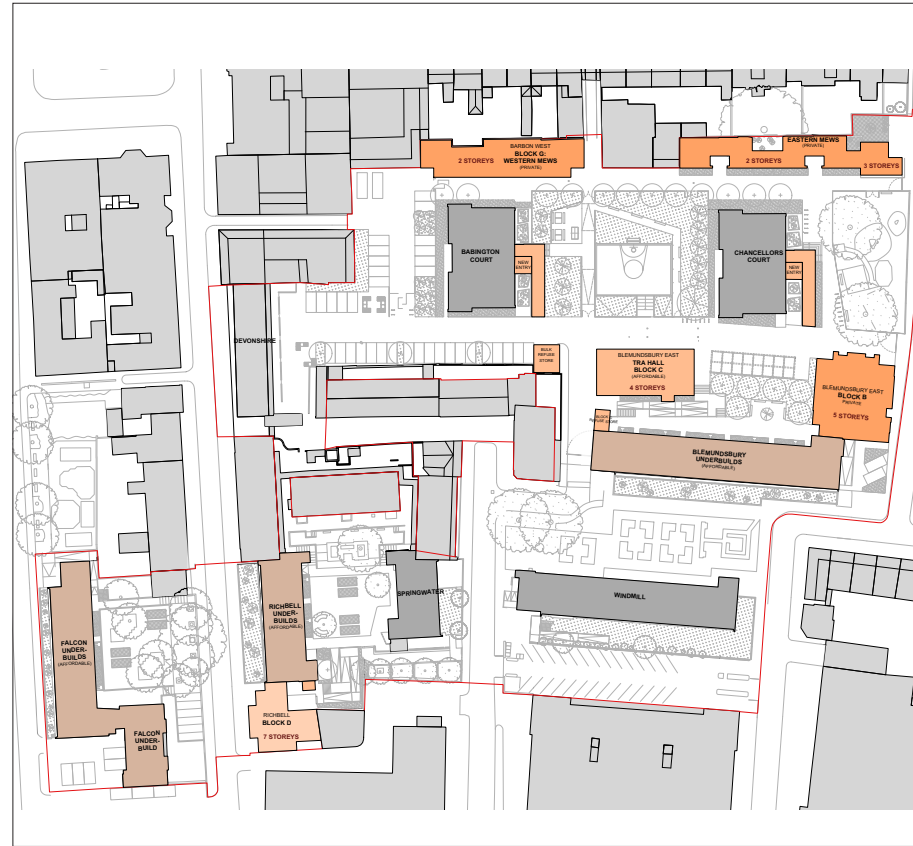


SITE - NORTH ELEVATION

5.2 PRE-APP

5TH PRE-APP FEBRUARY 2021

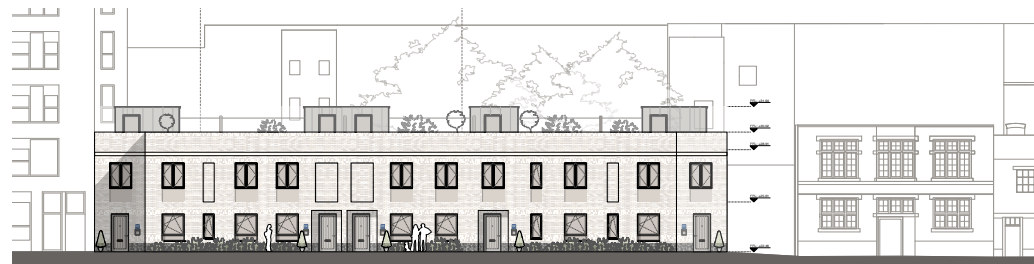
- Refining Tybalds Square with new options
- Blocks D and G now residential blocks, no longer to be sold to GOSH
- Development of these blocks as residential units
- Detailed elevations and materiality development
- Introducing new brick colours for Mews Houses and Block D, building on the refined red established materiality colours and design.



SITE - MASTERPLAN



MATERIALITY



MATERIALITY AND COLOUR

SECURED BY DESIGN

The proposed scheme has been designed to meet Secure by Design standards, and all aims set out at initial meeting have been fulfilled.

Some of the key aspects include:

- Clear visibility and well defined routes
- No vehicular access (apart from deliveries and parking for existing residents who then reverse out)
- Extensive landscape design and planting to deter from rat running and unwelcome behaviour from non-residents
- Activating streets and walls, new street created with Eastern and Western Mews, new entrance on New North Street for Block C and underbuild flats activating courtyards.
- Multiple entrances to the TRA hall in Block C.

SECURED-BY DESIGN MEETING MINUTES

Date: 15th July 2019

Attendees: Jim Cope, Design Crime Out Officer, Met Police
Amy Fitzpatrick, Architect, MLA
Alex Spicer, Architect, MLA
Abjal Afrus, Chair, Tybalds RA

Notes:

1. The general strategy appears to be acceptable with no specific aspect of the proposal causing any major concern.
2. Reduce permeability to the site where possible and have clearly defined routes where permeability is retained.
3. Cul-de-sacs for cars is a positive approach.
4. Use varying surfaces and landscaping to reduce bike and moped rat running.
5. Clear and defined paths and sight lines across the site with uniform lighting.
6. Planting ideally 500mm from paths so they do not overgrow pedestrian paths.
7. Activate blank walls, e.g. move Blemundsbury residential entrance to New North Road side.
8. No bollard lighting, apart from as secondary feature in controlled spaces.
9. Tree planting to be 5m from lamp post so they do not over grow lights in the future.
10. 'Dead spaces' at existing lower ground levels are currently an issue. Underbuilds with defensible planting at flat entrances will provide activity.
11. Setback building entrances create pockets for anti-social behaviour i.e. Richbell entrance to be moved closer to the boundary.
12. Ideal entrance recess is 600mm.
13. Ensure fences and gates cannot be reached through.
14. One entry/exit point per building where possible.
15. Refuse and cycle store doors to have 2 locks.
16. No signage or transparency to refuse and cycle stores to reduce break-ins.
17. Separate refuse store from lobbies. Only one external access point.
18. Planting on walls can prevent ball games and graffiti
19. Signage saying 'child friendly area' for shared vehicle/pedestrian surfaces.
20. If TRA's are to be used by the public then access should ideally be external. If not possible then potentially create residential secure access.

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5.1 SAFETY AND SECURITY

CRIME PREVENTION ASSESSMENT

The proposed scheme has been designed so as to consider and address the impact on crime and anti-social behaviour and where appropriate.

Together with Secured-By Design, the following elements have been considered as per the National Planning Practice Guidance, 2014, and highlighted in Camden Planning Guidance (Section 7) and Camden Local Plan, Policy 5- Safety and Security:

ACCESS AND MOVEMENT

As mentioned in Section 4 of this document, the masterplan has been designed to create a new North-South route and re-define the East-West route. All routes are pedestrianised with limited vehicular access. Underused and potentially dangerous alleyways such as that of Barbon Close has been designed to be part of the leading North-South route. This has been achieved through the landscape and public realm's design of creating strong spatial definition which will stimulate activity and encourage positive behaviour and positive use of the wider neighbourhood. The proposed buildings' strategic positioning is also key in highlighting and defining routes and access. For example, Block B and Eastern Mews create a clear bookmarked entrance to the estate from Orde Hall Street.

Recessed entrances to all buildings have been designed for safety and security of the residents but are not deep enough to allow for any anti-social behaviour.

STRUCTURE AND LAYOUT

The proposed buildings' layout, and that of the public realm encourage a continuity of place for residential use in the estate and enhancing the quality of the neighbourhood. Within each proposed block, careful

consideration of the internal layout and planning has been given through creating welcoming environments for the residents, discouraging any potential offenders.

SURVEILLANCE

Natural surveillance has been carefully designed within the proposed scheme, especially through creating active frontages, through architectural design adding interest and life, but also through the use of doors and windows looking out onto the public realm and the estate. The Eastern and Western Mews create a new street and pedestrian route in the estate which enhances overlooking, particularly to the new Tybalds Square and the existing children's playground, therefore reducing the opportunity for crime and anti-social behaviour and increasing perceptions of personal safety and well-being.

On the opposite end of Tybalds Square, Block C plays the same role, with added strength due to its public use, through large glazed panels on the ground floor of the TRA community hall, generating and encouraging use whilst also enabling natural surveillance for both internal and external use.

Lighting is expected to be proposed for better surveillance within the main Tybalds Square, but also within the courtyards of Blemundsbury, Richbell and Falcon, as well as on the new street created by the Mews houses. The full details of these will be secured by planning conditions.

OWNERSHIP

The landscape and public realm is designed to clearly define which spaces and areas are public, communal, semi-private and private. Defensive private planting and space is designed around all individual blocks. Some blocks such as C and B, together with Blemundsbury,

create their won semi-private courtyard, promoting a sense of ownership whilst allowing accessibility to all. Growing allotment planters are located within the main Tybalds Square, increasing the sense of community and responsibility.

More information on this can be found in the Landscape Design and Access Statement.

PHYSICAL PROTECTION

Creating strong active frontages to buildings and contributing in a general scale to enhance the quality of the estate and its local neighbours are all ways that can reduce the need for physical barriers. Gates and fencing have been widely consulted on and strong advice against these has been given from Local Authorities. The use of planting creating defensive space rather than gates and fences is one of the ways the design seeks to achieve this. The priority of the public realm design in particular has been to take an outward and open approach, resulting in attractive and welcoming environments for both residents, passing pedestrians and the wider community.

More information on this can be found in the Landscape Design and Access Statement.

MANAGEMENT AND MAINTENANCE

The scheme has being designed in a way that promotes longevity through careful maintenance plans and management considerations. Please see Velocity's Transport Statement for further details on the management strategy the Landscape Design and Access Statement for more information on the maintenance for the public realm and landscape.

5.3 PUBLIC CONSULTATION

SUMMARY

Since January 2019, the proposed scheme has been developed in consultation with stakeholders and the public through consultation events, newsletters, surveys and presentations. Due to Covid-19 restrictions, on-line and postal consultation methods have been employed since early 2020. Consultation in January 2019 identified these guiding themes:

- Attractive
- Affordable
- Energy efficient new homes
- More trees & plants
- Improved landscape to provide play areas for children and teenagers & seating for older people.

Consultation in May 2019 showed that residents welcomed proposals for improved accessibility to existing buildings and provision of new larger, family-sized homes. The proximity of Block C relative to Blemundsbury was questioned and its placement subsequently adjusted.

The Tybalds Regeneration Newsletter (February 2021) sets out a summary of the key issues raised during formal consultation in 2020 by residents and including:

- Improvements to estate landscaping including new trees, planting and a community food-growing area
- Improved security
- Priority for new homes to go to estate residents in housing need
- 'Right to light' and overlooking concerns
- Improved waste storage & recycling facilities
- 2no. separate TRA Halls: a temporary community hall and a permanent purpose-built hall in Tybalds Square
- Restriction of vehicle access
- Noise, dust & disruption from building works.

Further details of the consultation activities that have taken place with the local community is set out in the submitted Statement of Community Involvement.



6 PROPOSED MASTERPLAN

6.0 MASTERPLAN

EXISTING MASTERPLAN

Tybalds is a London Borough of Camden residential estate comprising 9no. blocks of flats and associated private amenity, public realm and car parking and 2no. Tenants' & Residents' Association (TRA) halls. The estate was constructed in several phases from 1930 to the early 1960s.

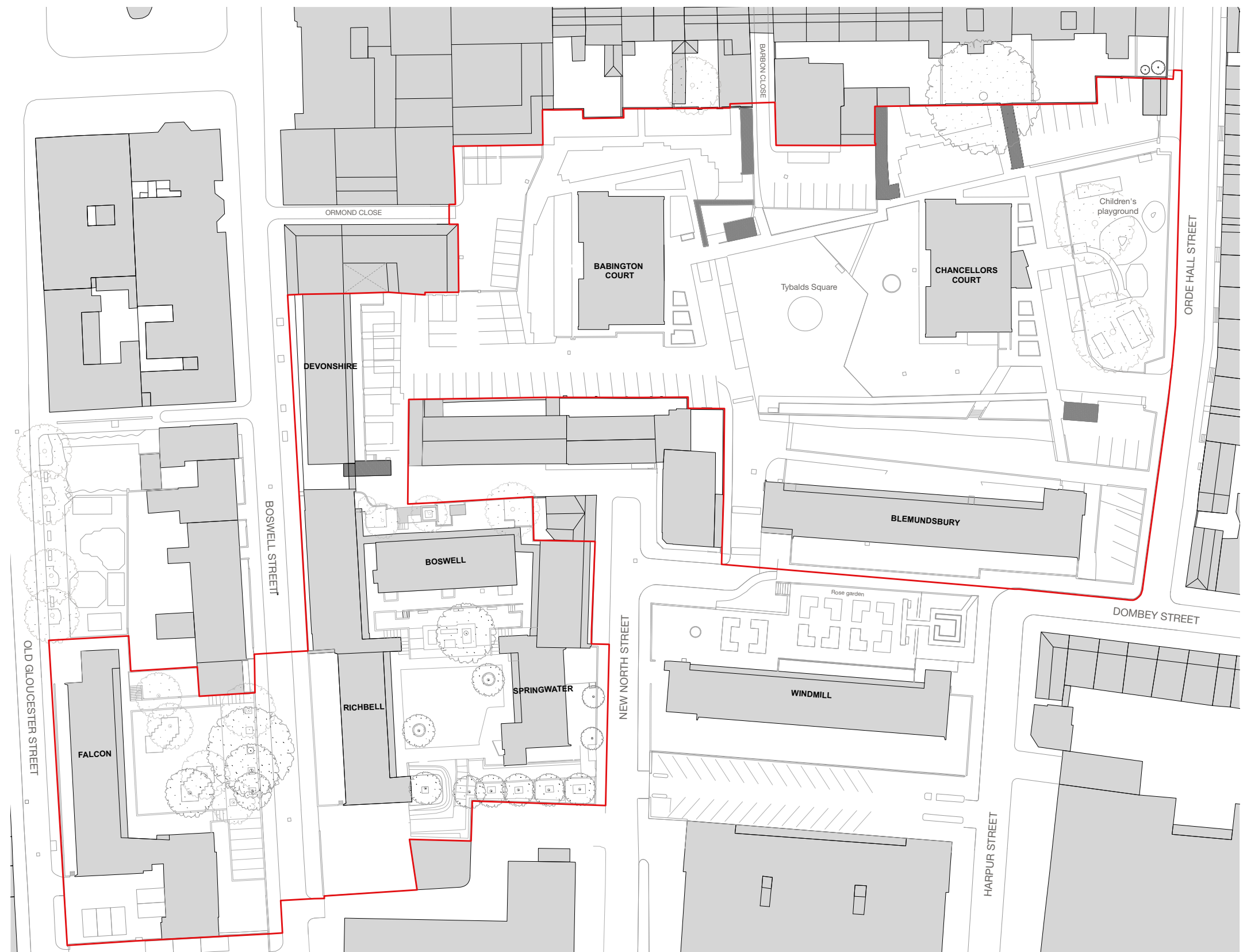
The existing buildings are:

- Boswell (1930)
- Richbell (1940s)
- Springwater (1940s)
- Falcon Phase 1 (1949)
- Blemundsbury (1948-9)
- Windmill (1949).
- Falcon Phase 2 (1953)
- Babington Court (1965)
- Chancellors Court (1965)
- Devonshire (1967)

Overall there are some 400 existing homes on the estate.

Between the blocks within the estate itself there are the original public open spaces, typically from that era ill-defined, poorly overlooked and now in need of reorganisation and proper greening.

For many years now Camden Council has planned to improve Tybalds Estate, firstly by adding new homes in new blocks, to make more sense of the estate's urban 'grain'. But also by improving and upgrading its public realm, to provide better security for residents and better shared facilities. Finally, the estate suffers from poor accessibility throughout its original buildings and this is also a key task to be delivered within this overall renewal project.



Existing Site plan

6.0 MASTERPLAN

PROPOSED MASTERPLAN

The significance of the proposed masterplan is to create a symmetrical grid pattern with 56 new homes, defined green spaces and parking bays. Distinctive paths running east to west and north to south improve sight lines and navigation routes. The proposed scheme also creates improved access to the existing blocks as well as improved security. Other elements include new multi-purpose community hall and new caretakers' facilities.

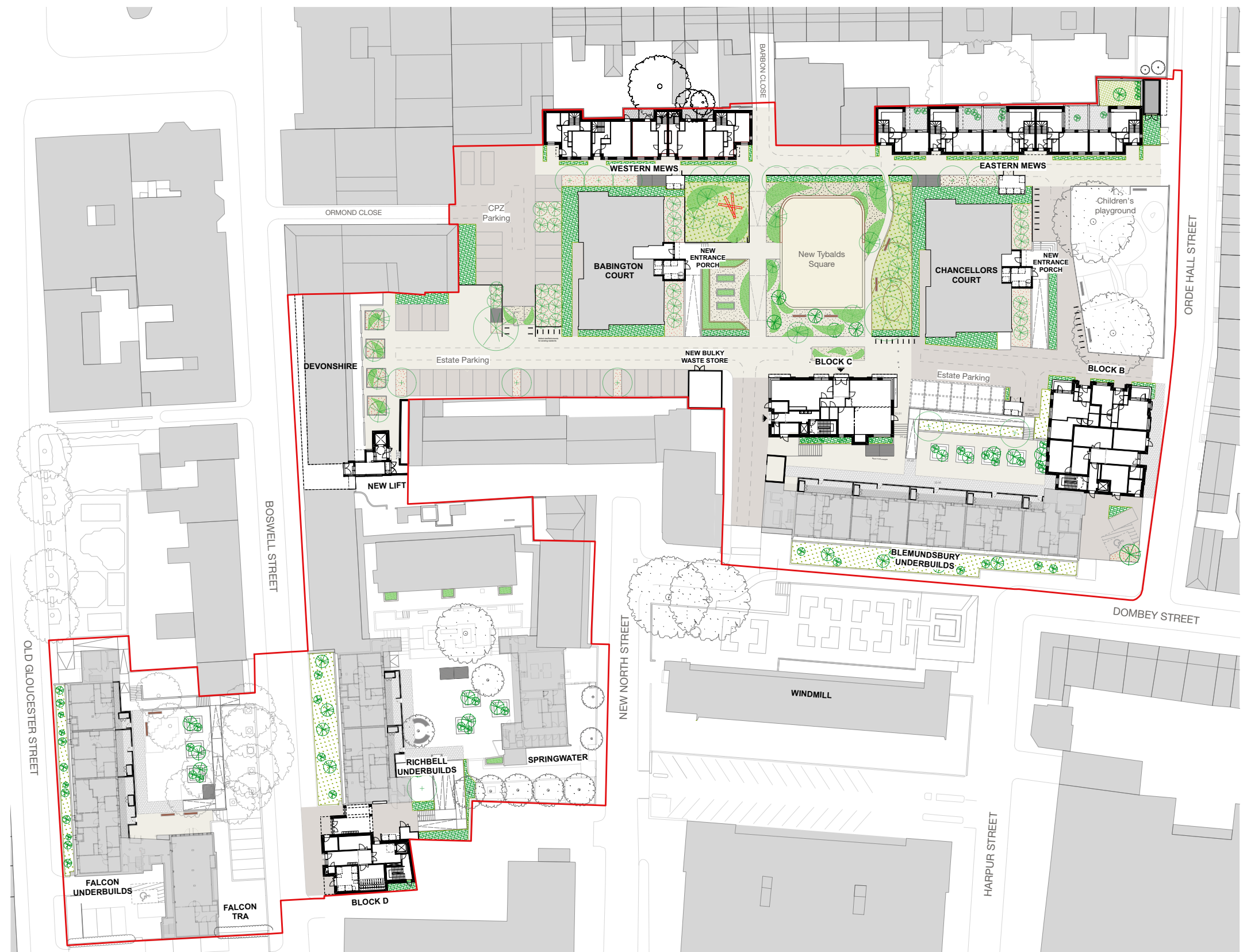
Block B

Block B will be situated on Orde Hall Street, on the East corner of the existing Blemundsbury building opposite Orde Hall Playground, delivering **18 Market units**. Mediating between the 3 storey Georgian houses on Orde Hall Street and the 10 storey Blemundsbury block, Block B will be a 5 storey building, comprising of one and two-bed units with recessed balconies.

Block C

Framing a new landscaped courtyard to Blemundsbury, Block C will be situated on the West corner of Blemundsbury, delivering **6 Socially Affordable units** and a new multi-use **TRA Community Hall** on the Ground Floor. Orientated to face what will be a new landscaped Tybalds central Square.

These two blocks together with Blemundsbury will form a new 'Blemundsbury Quarter' with a new DDA-compliant ramp down to a newly landscaped courtyard with planters and seating. This new residents' courtyard also sets the scene for the newly refurbished Underbuilds of Blemundsbury which will house 5 more Socially Rented units, comprising of one and two-bed flats. Four of these units will be used to accommodate wheelchair users.



Proposed Site plan

6.0 MASTERPLAN

PROPOSED MASTERPLAN

Eastern and Western Mews

The Eastern Mews will comprise of **5 new 2-storey Market houses** with roof terraces on the South side of the estate. Together with Block B, these two buildings help to frame the entrance of the estate and the children's playground from Orde Hall Street.

Similarly to the Eastern Mews, the Western Mews will also comprise of **5 new 2-storey Market houses** with roof terraces on the South side of the estate, backing onto an existing 2-storey high historic wall.

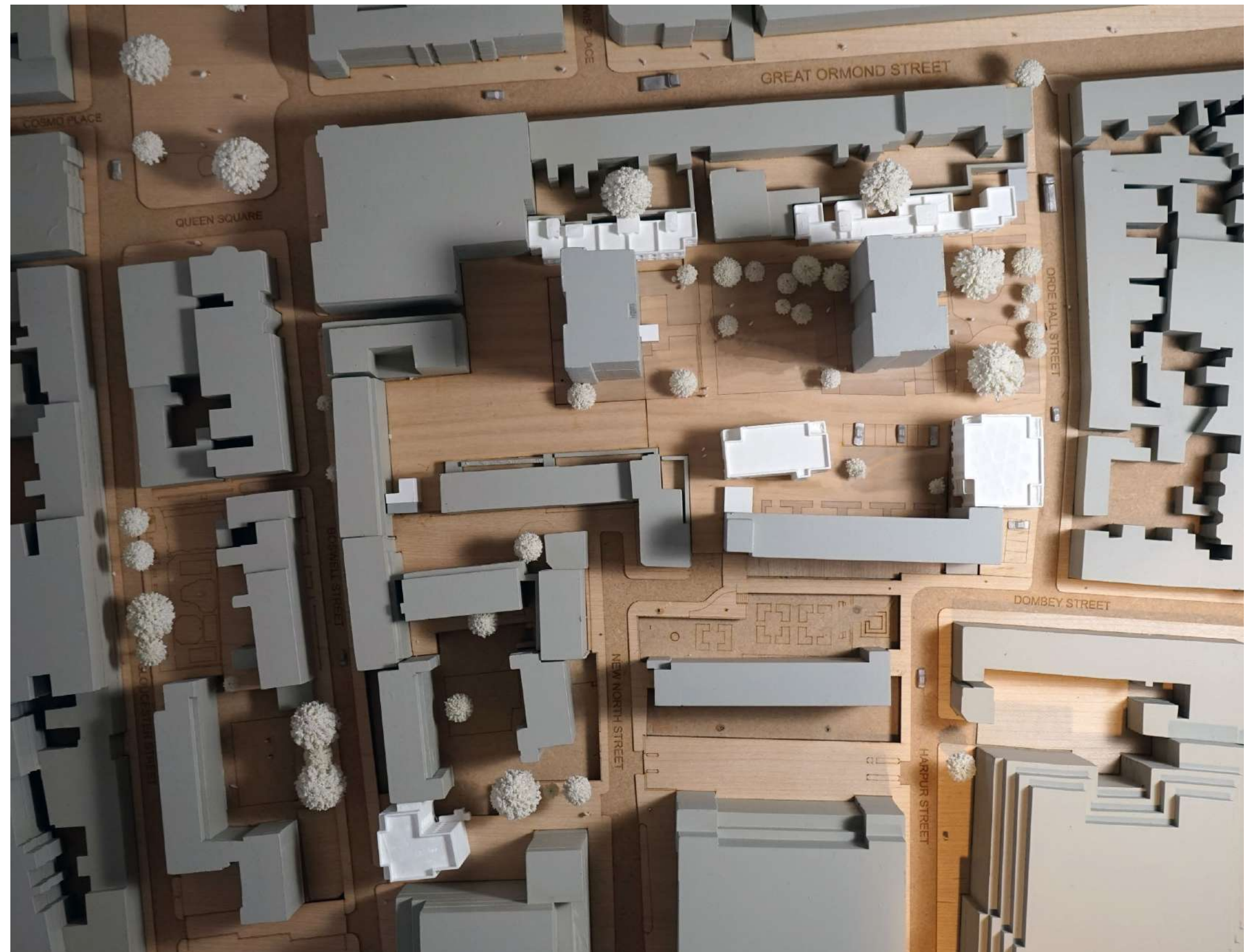
The Eastern and Western Mews will create a new fully pedestrianised play street fronting the houses, which then leads into the main Tybalds Square.

Block D

Block D will be a 7 storey apartment building delivering **12 new one and two-bed units**. 7 of these will be Socially Rented and the other 5 will be assigned to Intermediate tenure. As it will sit adjacent to the Richbell block, Block D is designed to accommodate a small entrance courtyard into the existing Richbell flats on the ground floor as well as setting back on the top floor.

The small entrance courtyard will then lead to a new DDA-compliant ramped access down to a newly landscape courtyard for Richbell, Springwater and Boswell residents. This will also serve the 2 new Underbuilds flats in Richbell's lower ground floor.

Its proximity to the boundary line both on the East and South façades means these two façades are sculpted in such a way as to have very few windows, to allow for possible future development of the adjacent site to the south.



Site plan - model