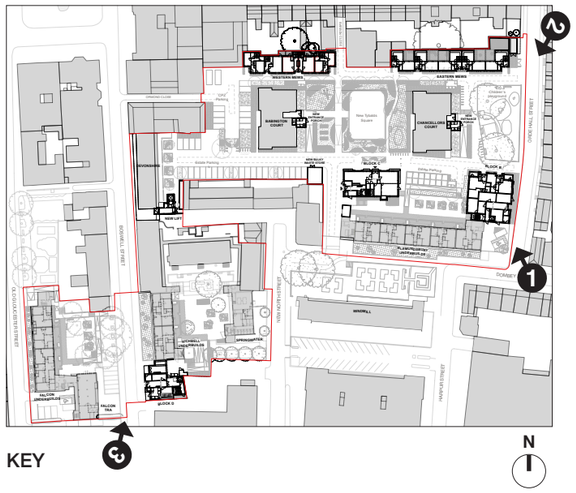
7 PROPOSED BUILDINGS

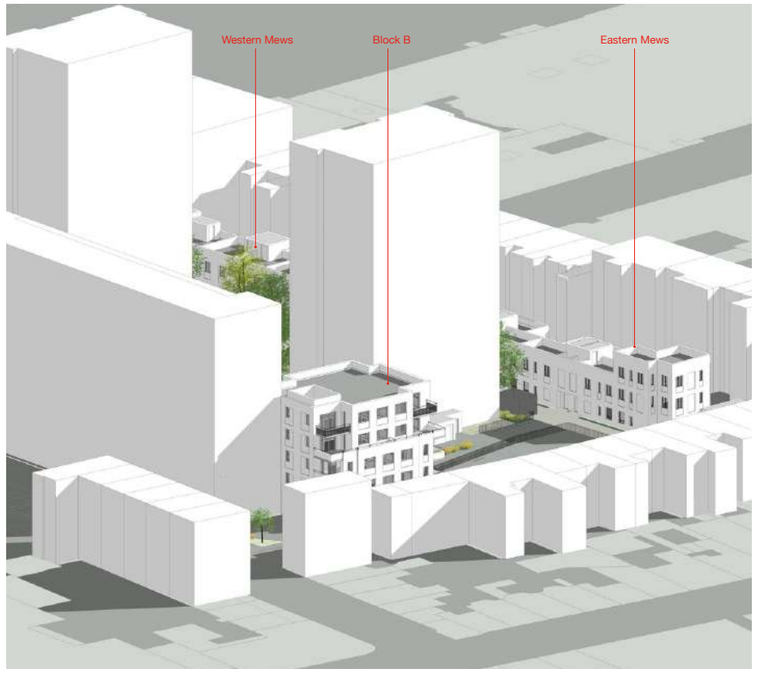
7.0 PROPOSED BUILDINGS OVERVIEW



3D OVERVIEWS

Each proposed block responds to its unique immediate site, but all are tied together by strong design principles in both planning layouts and architectural language and massing.

1. Top View from Dombey Street-Block B, Eastern and Western Mews



2. Top View from Lambs Conduit Street-Block B, Eastern and Western Mews

3. Top View from Boswell Street-Block D,C, Eastern and Western Mews

7.0 PROPOSED BUILDINGS OVERVIEW

CGI OVERVIEWS

CGI images and views have been produced throughout the design process.

Blocks B and C rendered CGI images were produced by INK at an earlier stage of the design, and although some architectural elements have evolved since then, the main design principles still apply.

For example, the solid balconies at the lower floors then being released on the top floors; the white glazed brick horizontal banding' relationship with the existing adjacent buildings; and the slightly extruded piers shown in Block C's image.

Proposed Block B - Looking south fromOrde Hall Street

INDICATIVE ONLY

Proposed BLock C - Looking south east from Tybalds Square.

INDICATIVE ONLY

Proposed Eastern Mews - View looking west from Orde Hall Street.

INDICATIVE ONLY

Proposed Western Mews - Looking north west from Tybalds Square.

INDICATIVE ONLY

Proposed Block D - View looking south from Boswell Street.

INDICATIVE ONLY

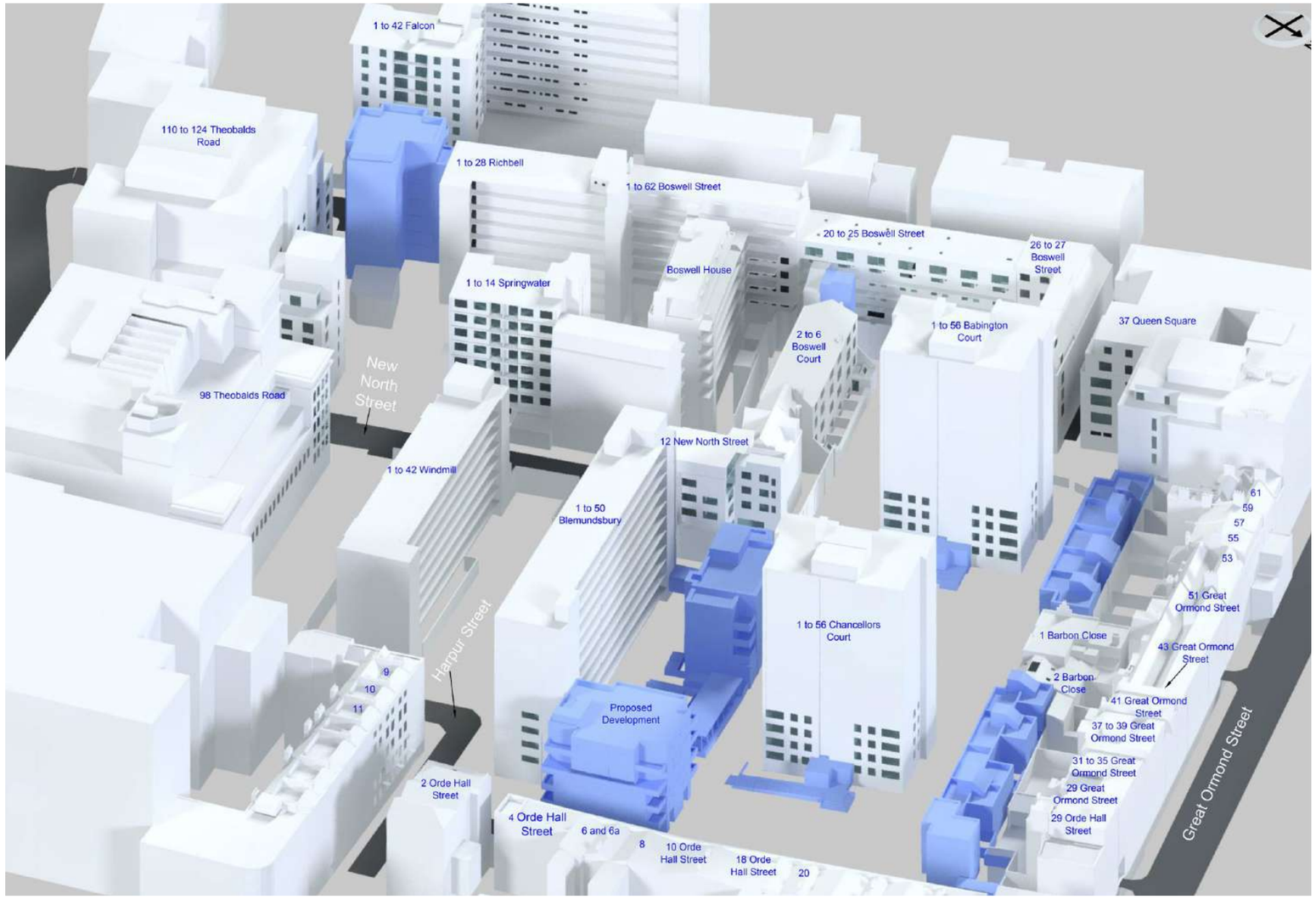
7.0 PROPOSED BUILDINGS OVERVIEW

DAYLIGHT/SUNLIGHT ASSESSMENT

The proposed scheme has been assessed by daylight/sunlight consultants and the findings of the assessment summarised are as follows:

"The numerical results demonstrate that the proposed development design achieves a high level of compliance with the BRE recommendations. Whilst a number of rooms do not meet the recommendations, the results are not unusual in the context of an urban location. The overshadowing test confirms that all residents will have access to well sunlit amenity spaces. In our professional opinion, the proposed design will provide the development's future occupiers with adequate levels of natural light."

Please see **Right of Light Consulting** 'Daylight and Sunlight' reports for both neighbouring properties and proposed scheme.



Excerpt model view from Daylight and Sunlight Report

7.0 PROPOSED BUILDINGS OVERVIEW

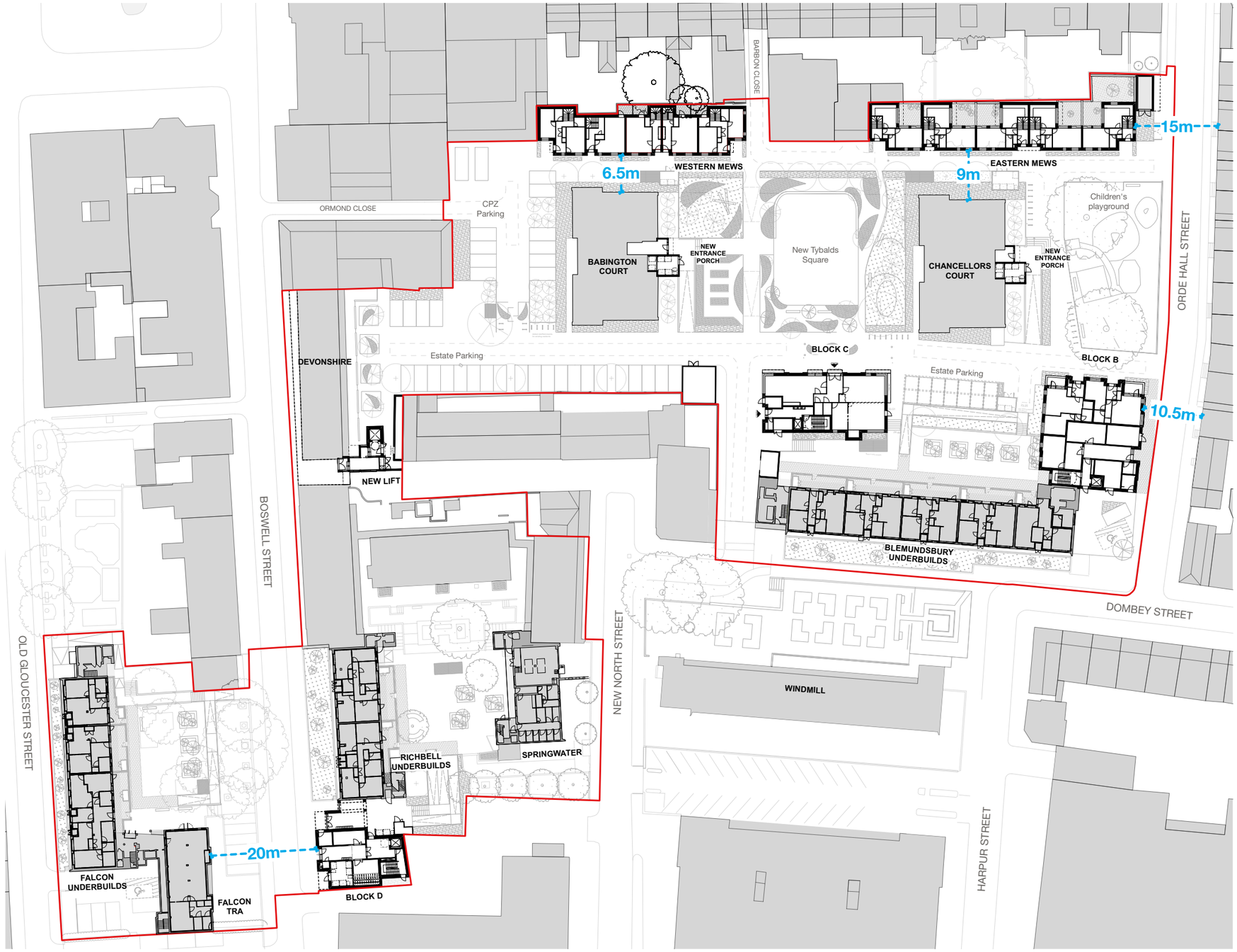
SEPARATION DISTANCES

Overlooking and separation distances between existing and proposed buildings and their windows have been carefully addressed for each new block.

Detailed design has further mitigated overlooking. For example, the Western Mews introduces blank recessed brickwork panels in their facade looking to the north to avoid habitable room windows facing Babington Court kitchen windows.

A further example is that Block C has a 'kick-out' on its southern facade to allow for the single bedroom to have windows, whilst maintaining a blank facade to Blemundsbury.

Additionally, Block B with recessed top floors addresses the smaller scale of the Orde Hall Street houses.



Orde Hall Street view from site model

7.0 PROPOSED BUILDINGS OVERVIEW

BUILDING STRATEGY AND CONSTRUCTION

The Tybald's new buildings' construction and materiality is proposed as follows:

Foundations: bored piles with pile caps and a solid ground floor slab
Superstructure: concrete frame encompassing in-situ cast concrete columns and floors.

Lift shafts and services risers: solid construction either in cast concrete or dense blockwork. Lifts to be 8-person sized for wheelchair use if required and fire rated as required.

External walls: facing brickwork, supported as required on shelf angles connected to the concrete floor edges; fire rated wall insulation; internal skin to be SFS (steel framing system) studwork, with plasterboard inner linings.

Roof structure and finishes: in-situ cast concrete; fire rated roof insulation laid to falls; single ply roofing membrane; blue roofs for rainwater attenuation and planted green roofs elsewhere. Copings to be pressed powder coated aluminium.

Windows to be high efficiency, double or triple glazed powder coated aluminium.

Balconies to be cast-concrete attached to the floor slabs with proprietary insulation connectors, with either brick or metal balustrade, and raised pedestal flooring to suit each tenure.
Internal walls: SFS studwork, with plasterboard linings. Party walls to be staggered SFS.

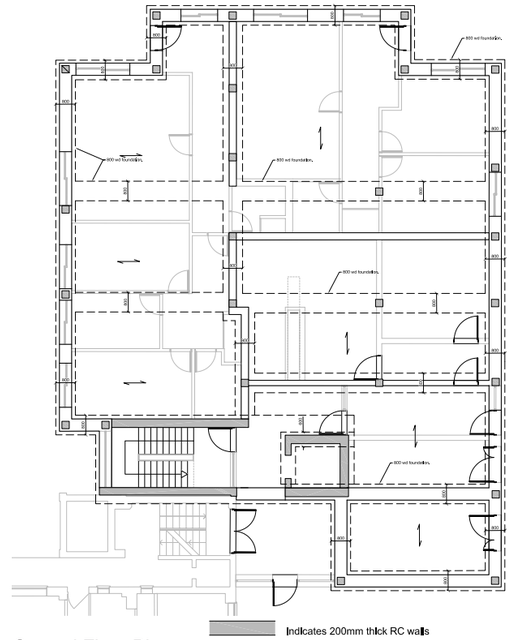
Internal floors: insulated raised floors and finished to suit tenure. Ceilings to be plasterboard lined and insulted as required.

Internal doors: solid core fire rated. Front doors: PAS 24 rated, timber boarded on the outside.

Bathroom and kitchens: to be as required by each tenure; MMC off-site construction to be considered for the bathroom pods.

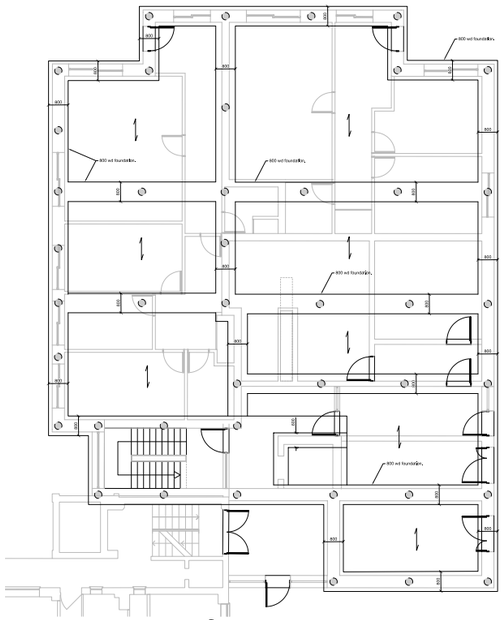
Common parts and entrance halls: finishes to be as required by each tenure; finishes to be fully fire compliant. Front entrance doors to entrance halls to be fully glazed, powder coated aluminium.

General Structural Strategy:
Please refer to indicative and schematic strategic structural diagrams based on a previous iteration of Block B by Mason Navarro Pledge (MNP):



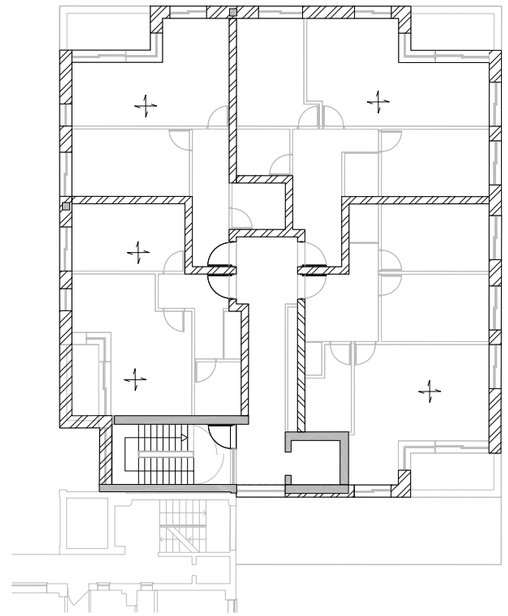
Ground Floor Plan

Indicates 200mm thick RC walls
Indicates span direction of 200mm PCC plank



Foundations

Indicates 300mm Ø pile
Indicates 800 wd RC ground beam (240Kg/m3 rebar)
Indicates span direction of 200mm PCC plank



Typical Floor Plan

Indicates 2 way spanning 275mm thk RC slab.
Indicates cavity/parapet walls

7.1 PROPOSED BLOCK B

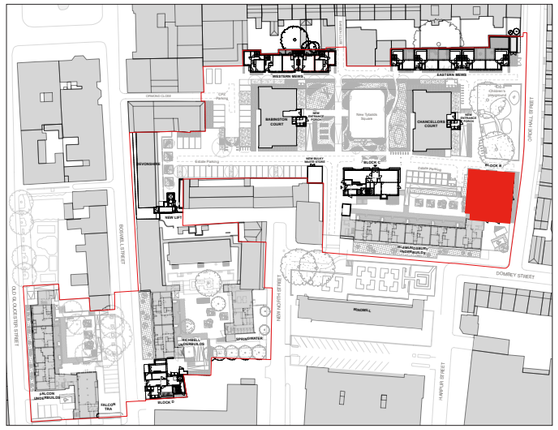
BLOCK B PLANS

Block B provides 18 residential private units, made up of 14 one-bed units and 4 two-bed units.

The ground floor also contains a cycle store, plant room and two refuse stores, one of which will be for existing Blemundsbury residents only.

The two units on the ground floor will be accessed on the north side, from the main estate, whilst the remaining units are accessed from Orde Hall Street through a shared entrance and core.

Orde Hall Street view from site model



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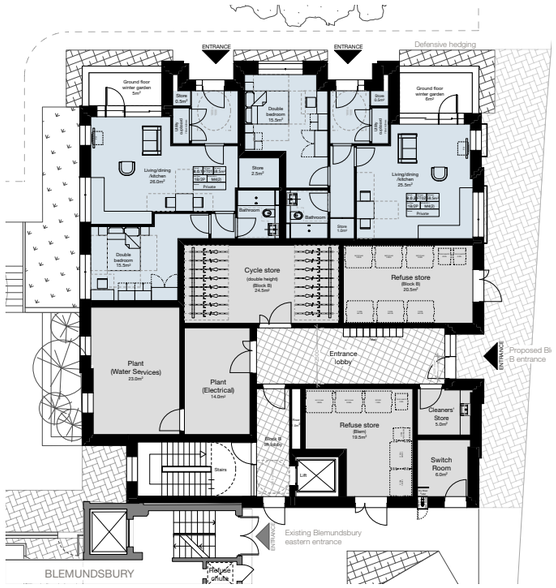
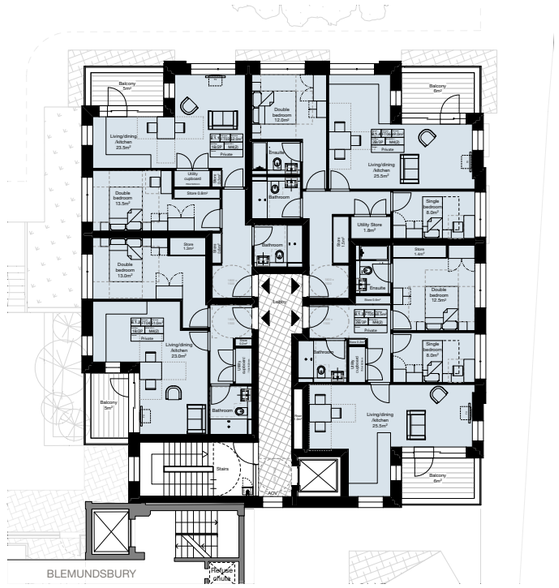
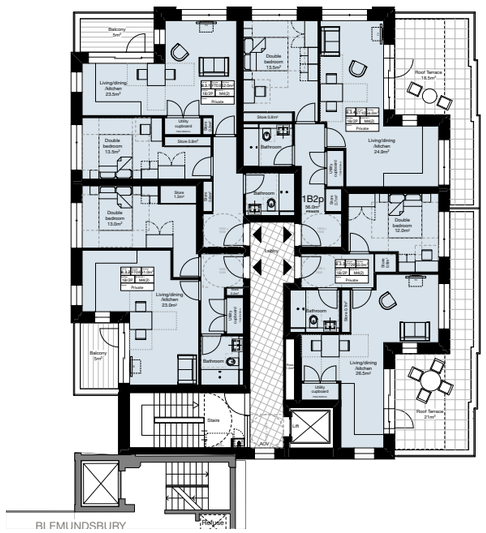


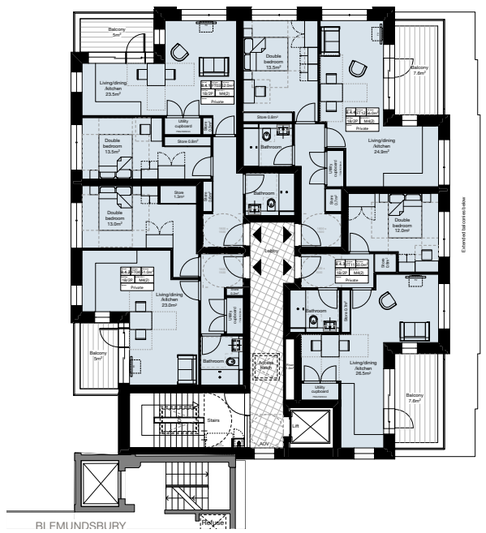
GROUND FLOOR PLAN



1ST & 2ND FLOOR PLAN



3RD FLOOR PLAN



4TH FLOOR PLAN

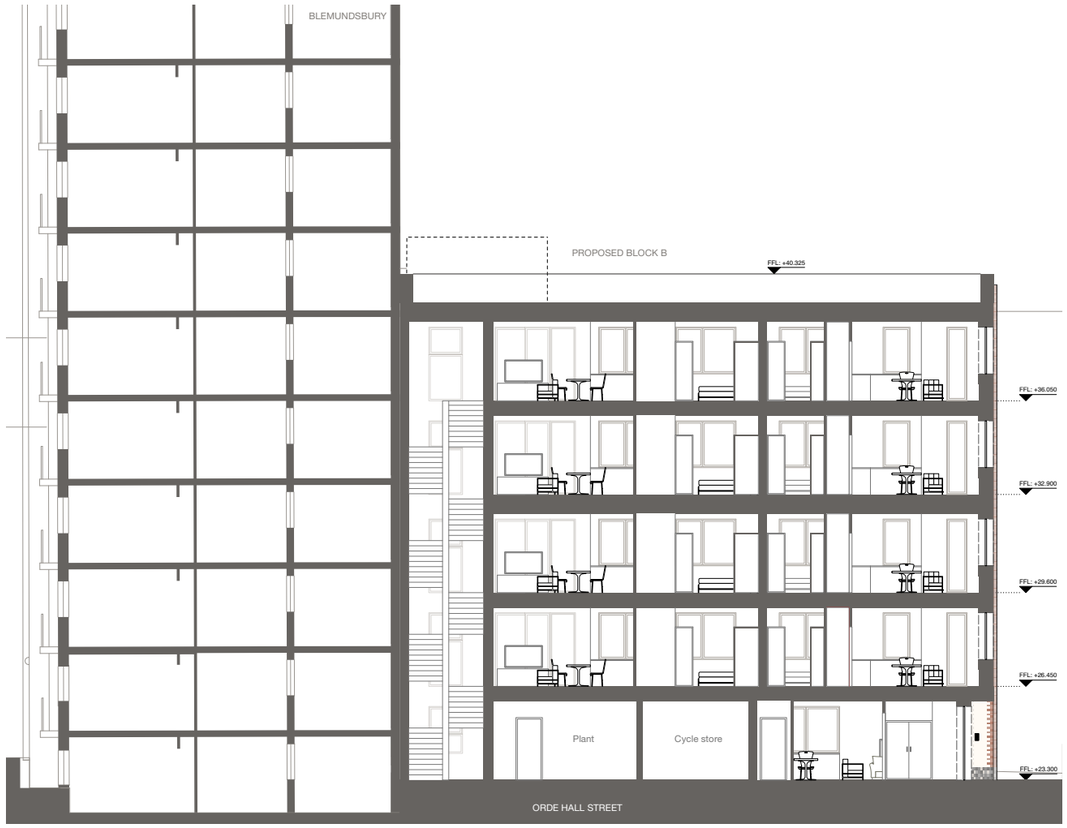
7.1 PROPOSED BLOCK B

BLOCK B SECTION

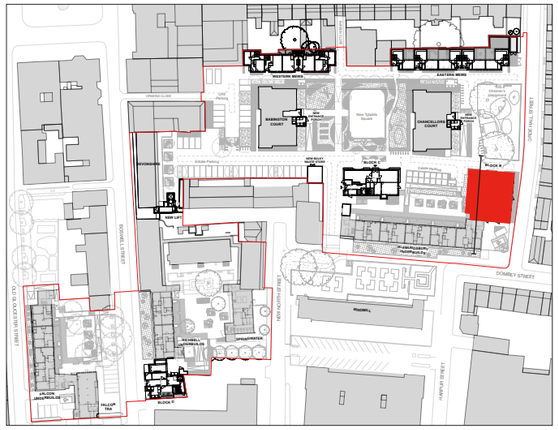
The units of Block B are designed in a layout that allows them to be stacked vertically, so as to have a repeat of the type of flats as you go up the building.

Every unit has double-aspect, with corner recessed balconies for private amenity space. This is extended on the third floor where the building sets back allowing for private larger terraces for the two flats facing onto Orde Hall Street.

The floor to ceiling levels of each floor are designed to be c. 2650mm, creating generous and comfortable spaces for people to live in.



CROSS SECTION

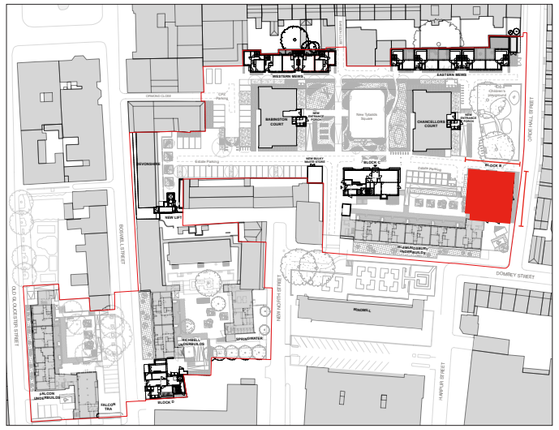


KEY

Orde Hall Street view from site model

Orde Hall Street view from 3D model

7.1 PROPOSED BLOCK B



KEY

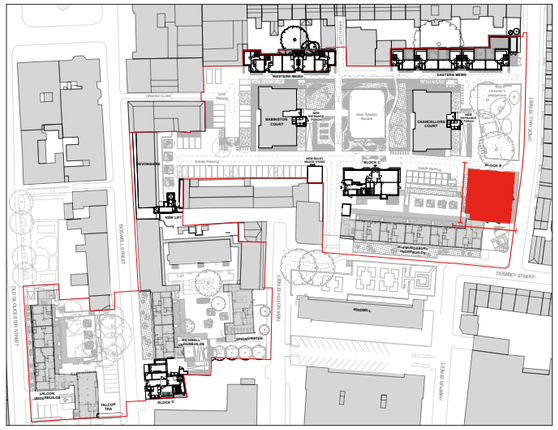
BLOCK B ELEVATIONS

Each facade of Block B is designed with a close attention to detail as they all need to respond to different existing conditions.
The North elevation faces onto the new Tybalds Square and therefore is designed to be more prominent, creating a new front to the square, with a hierarchy of balconies and brick pier extrusions.
The East elevation, looking to Orde Hall Street is more paired back, with recessed top floors to not overpower the Orde Hall street houses, whilst the decorated brickwork marks the communal recessed entrance to the upper floor flats.
The ground floor units have winter gardens and defensive planting on the north-east and north-west corners for increased privacy, together with Juliet-style railings to the ground floor windows fronting Orde Hall street.

NORTH ELEVATION

EAST ELEVATION

7.1 PROPOSED BLOCK B



KEY

BLOCK B ELEVATIONS

The South facade sits halfway in front of the existing Blemundsbury block, with its corner balconies being the most prominent feature.

The West elevation serves as a backdrop to the new Blemundsbury courtyard, and to the newly refurbished Underbuild units, framing the space together with Block C's east elevation.

The recessed balconies here are also key in breaking up the elevation, creating a playful and interesting in-out facade, softened by defensive planting and landscaping.

SOUTH ELEVATION

WEST ELEVATION

7.2 PROPOSED BLOCK C

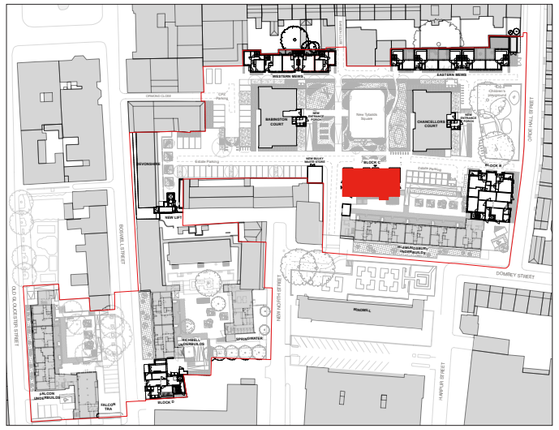
BLOCK C PLANS

Block C provides a new purpose built Community Hall for Tybalds' residents on the ground floor, and 6 residential units for social rent above comprising three 2B4P flats and three 3B5P flats.

The new community hall is split into two rooms for greater flexibility of use, with a shared kitchen and wheelchair-accessible WCs. The halls can be further divided as the larger hall will have a bi-folding partition system in place. Activities can also spill out onto the newly landscaped Tybalds Square which is situated directly in front of Block C with a new events space and greenery.

Tybalds Square Block C view from site model

Tybalds Square view from 3D model



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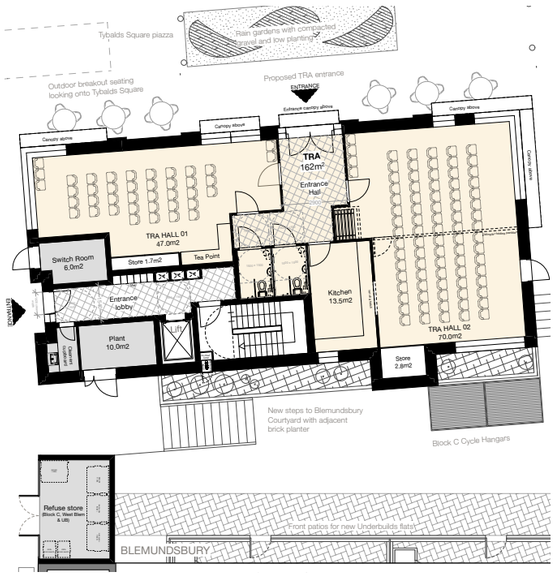
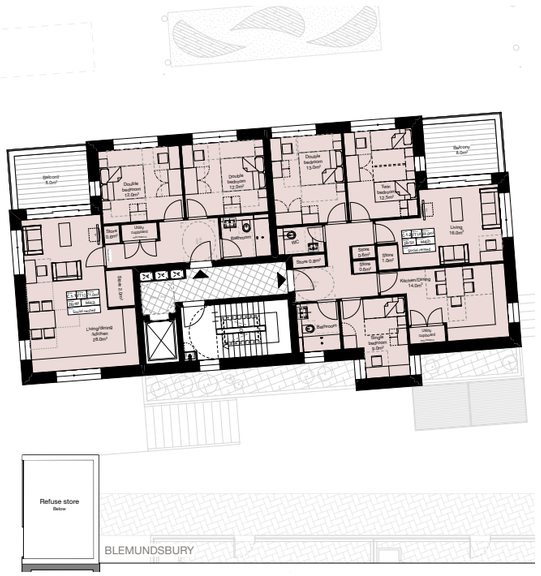
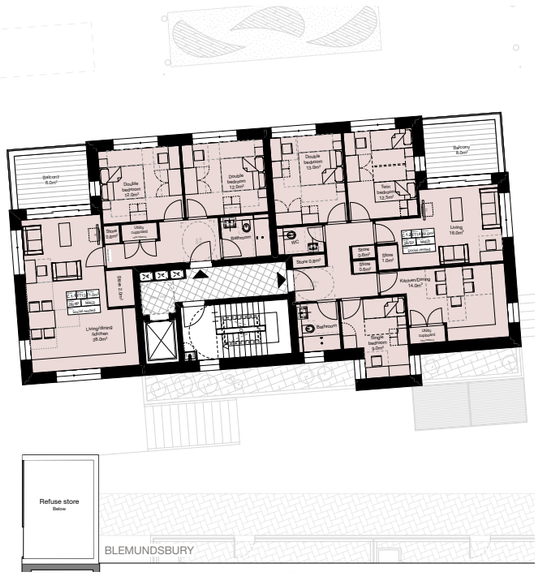


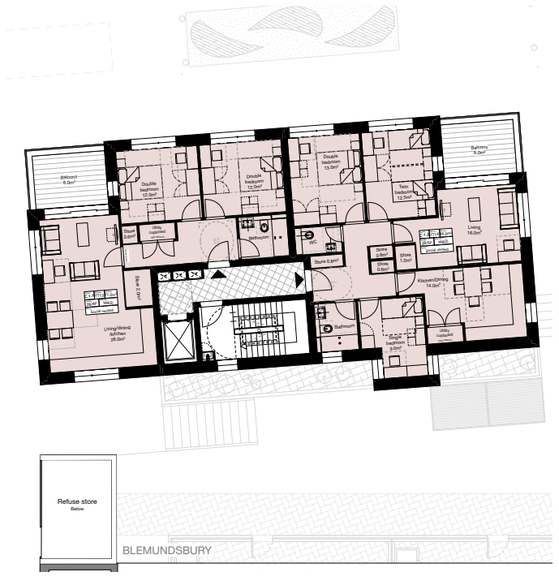
GROUND FLOOR PLAN



1ST FLOOR PLAN



2ND FLOOR PLAN



3RD FLOOR PLAN

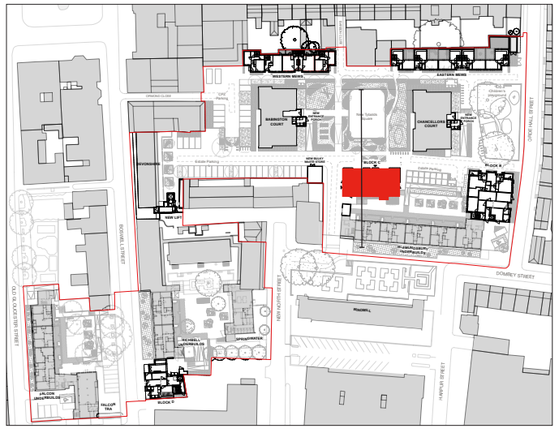
7.2 PROPOSED BLOCK C

BLOCK C SECTION

Tybalds Square section, cutting through Block C shows the landscaping approach we have taken with levels and making sure we do not dig down due to existing services.

The ground will be levelled to be seamless between the TRA community hall, its forecourt piazza and Tybalds Square, creating an uninterrupted continuation of spaces.
The main events space is at a slight lower ground level, but still amended to now be flat for ease ad fairness in ball games for example.
A timber retaining seating/wall is used at each end of the events space to mitigate this level difference.

See Landscape Design and Access Statement for further information.



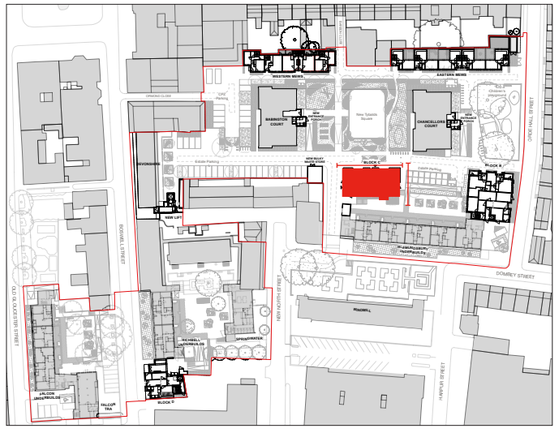
KEY

7.2 PROPOSED BLOCK C

BLOCK C ELEVATIONS

Block C, the sister building to Block B, is one of the most key buildings of this project, as it holds the TRA hall in its ground floor. Its north elevation presents a symmetrical pavillion-like building, facing parallel to the new Tybalds Square. The ground floor clearly states its importance through the decorated brickwork and large glazed panels.

The East elevation, framing the other side of Blemundsbury courtyard, leads you down to the courtyard through a new ramp and steps. The proportion of this building and facade has been designed to sit comfortably with Blemundsbury as its neighbour.



KEY

NORTH ELEVATION

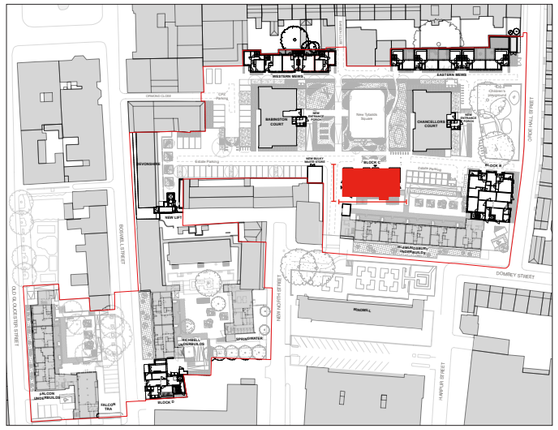
EAST ELEVATION

7.2 PROPOSED BLOCK C

BLOCK C ELEVATIONS

Block C's southern elevation faces Blemundsbury's block. To avoid overlooking issues, there are no habitable room windows looking to Blemundsbury, but rather a blank wall extrusion has been designed to allow windows to be slotted in facing the east and west.

Together with the North elevation, the West is also key as it holds the main entrance to the residential units above, celebrated again by a decorative white glazed brickwork pattern.



KEY

SOUTH ELEVATION

WEST ELEVATION

7.3 PROPOSED BLOCK D

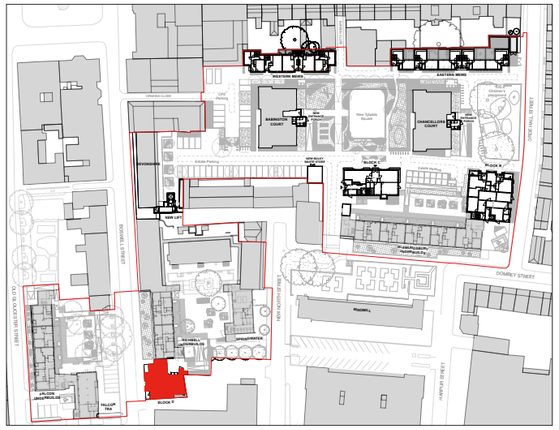
BLOCK D PLANS

On the far west side of the site, adjacent to Richbell, Block D will provide 12 new residential units. Out of these, 5 will be for Intermediate tenure and 7 for social rent.

These units will be accessed from Boswell Street, together with the existing Richbell units as Block D also will provide a new entrance gate and courtyard for existing residents. Refuse, recycling and cycling parking is accessible from the ground floor and organised to a high standard.

Birds eye view of Block D from site model

Richbell - Existing building entrance to be re-provided through Block D



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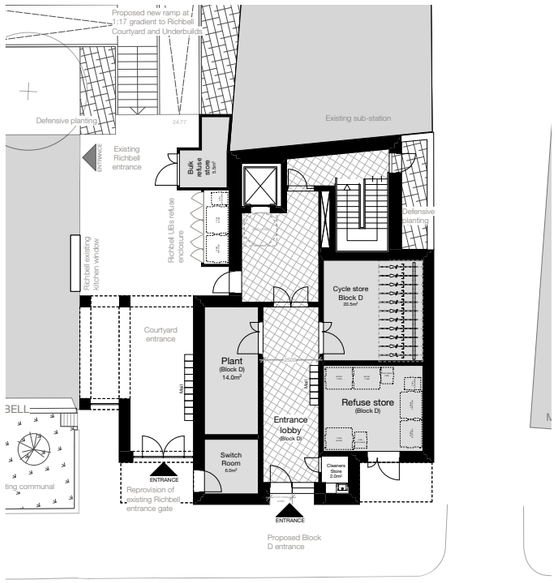
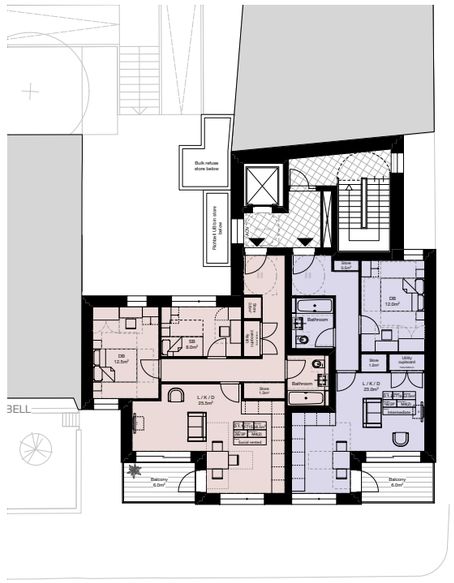
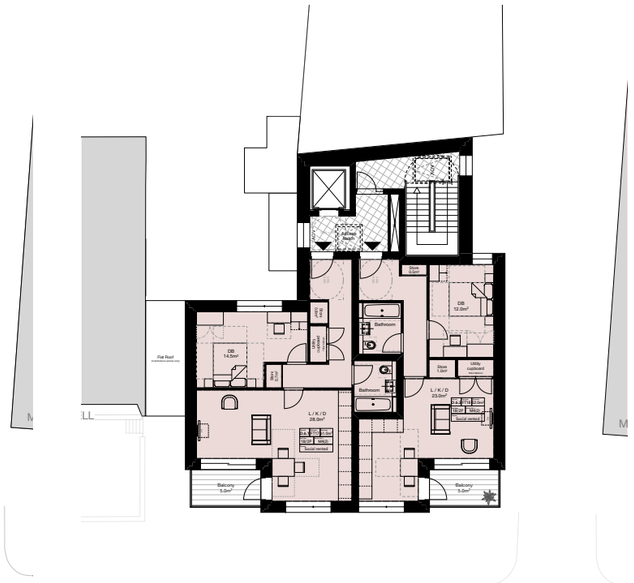


GROUND FLOOR PLAN



1ST - 5TH FLOOR PLAN



6TH FLOOR PLAN

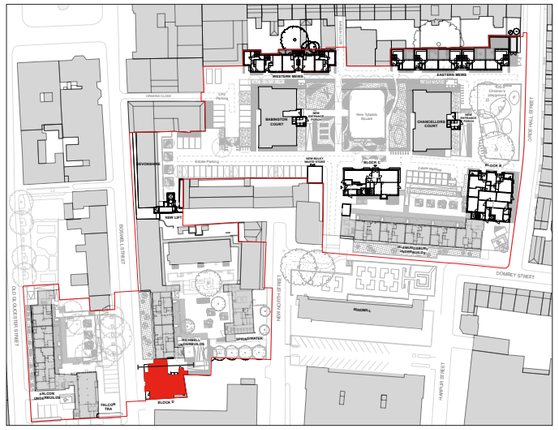
7.3 PROPOSED BLOCK D

BLOCK D SECTION

Each flat has double aspect and private amenity spaces which look onto Boswell Street. A new entrance gate for Richbell existing residents is proposed on the ground floor under the canopy formed by Block D above.

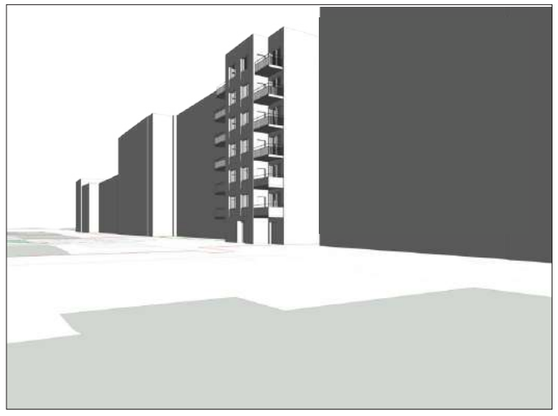
Similarly to the other blocks, Block D has identical 2B3P and 1B2P flats stacked vertically, apart from the top floor where the building is recessed inwards to give Richbell greater breathing space.
The floor to ceiling levels of each floor are designed to be c. 2650mm as per all the other proposed blocks.

CROSS SECTION



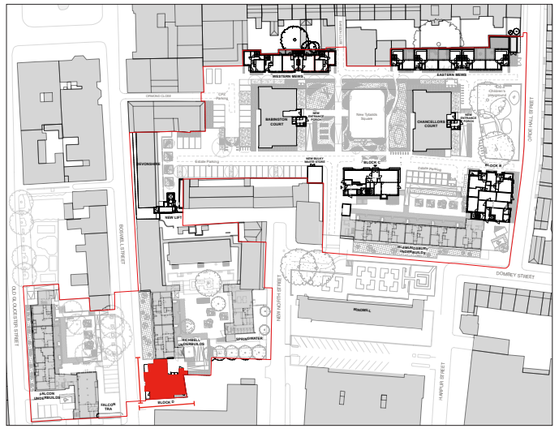
KEY

Birds eye view of Block D from site model



Boswell Street view from 3D model

7.3 PROPOSED BLOCK D



KEY

BLOCK D ELEVATIONS

Block D has been designed to have a stronger connection to the Mews Houses for two reasons. The first being that Blocks B and C form a 'quarter' of sorts with Blemundsbury, where there is a clear continuation of architectural language albeit modernised, therefore forming one element.

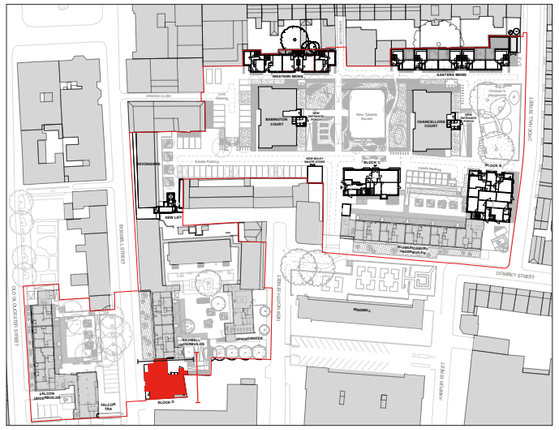
As both Block D and the Mews houses are situated in very tight and constrained sites, a softer and lighter buff brick has been chosen to allow them to sit comfortably and elegantly in their place.

The same architectural language of horizontal banding and recessed balconies applies, as well as that of the decorative brickwork to mark entrance.

WEST ELEVATION

SOUTH ELEVATION

7.3 PROPOSED BLOCK D



KEY

BLOCK D ELEVATIONS

Both the East and North elevations sit on the site boundary line and in front of an existing sub-station. Because of this, they are very simple and with very few windows to allow for any future development from its neighbours. The sculpting of this building however, allows for interesting façades forming a rhythm through their constant extrusions and recesses.

The proximity to Richbell on the North side also means a more blank facade with only stair windows in view from Richbell.

EAST ELEVATION

NORTH ELEVATION

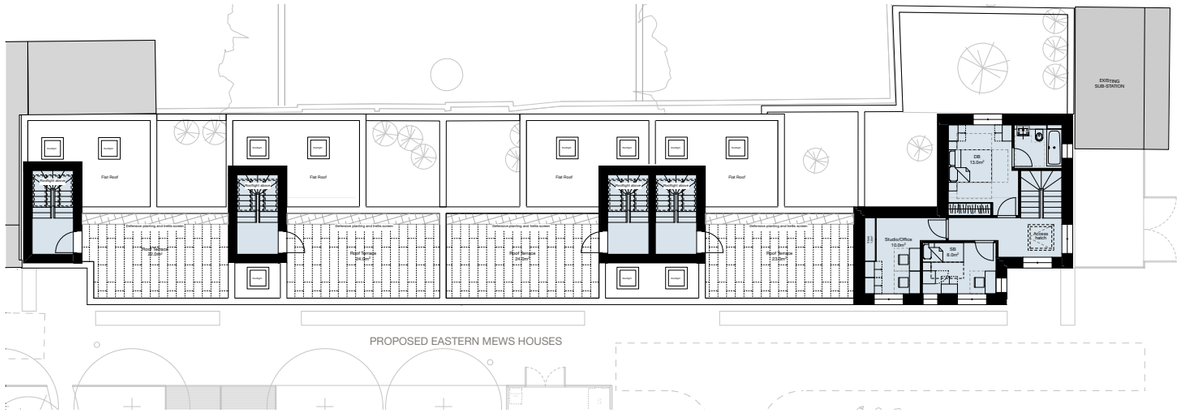
7.4 PROPOSED EASTERN MEWS

EASTERN MEWS PLANS

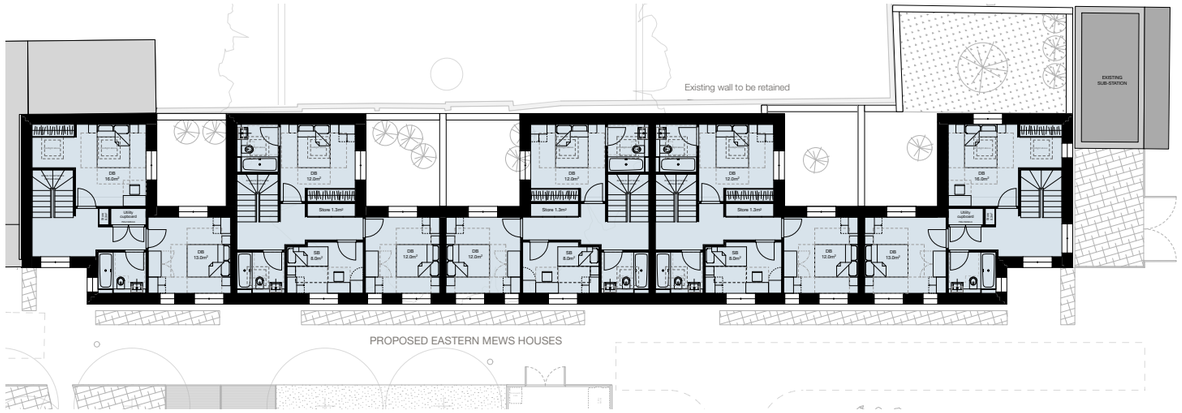
The Eastern Mews provide 5 terraced houses for private market sale. Four of these are two-storey and one has three storeys. They all have private courtyards, and the larger three-storey house also has a garden. Stair roof pop-ups lead to roof terraces.

These include:
- 1x 2B4P house
- 3x 3B5P houses
- 1x 4B7P house

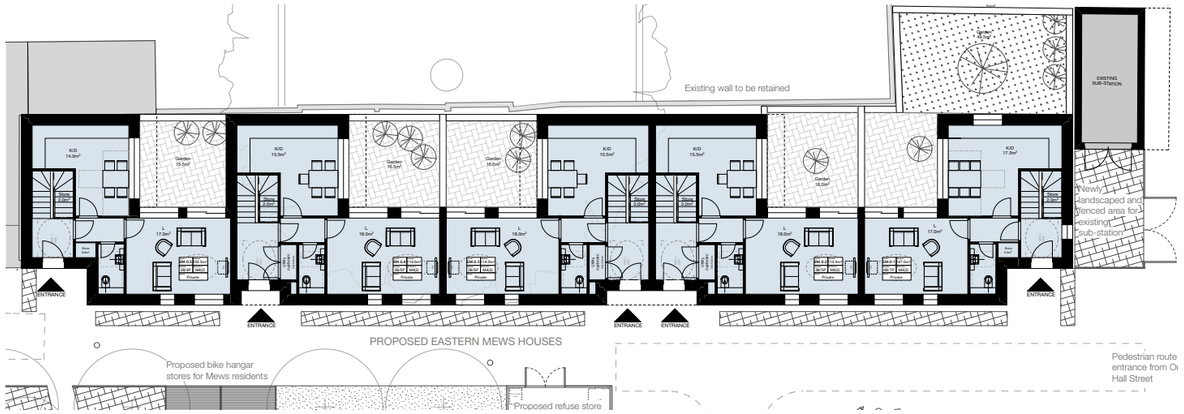
Access to these will be from Orde Hall Street, and together with the Western Mews will create a new street lined with trees.



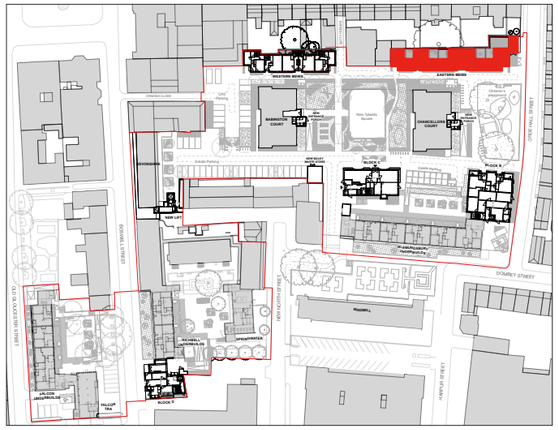
SECOND FLOOR



FIRST FLOOR



GROUND FLOOR



KEY

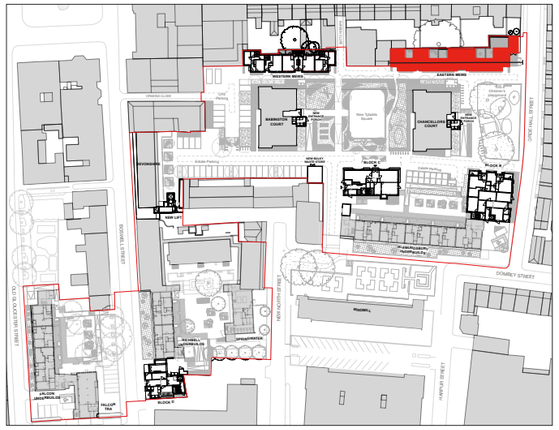
Birds eye view from site model

Boswell Street view from 3D model

7.4 PROPOSED EASTERN MEWS

EASTERN MEWS SECTION

The Eastern Mews have been designed to a very high standard. Each house has its own private courtyard and south-facing roof terrace. Generous floor to ceiling heights of c.2650mm and daylight sunlight qualities as per all the other blocks.



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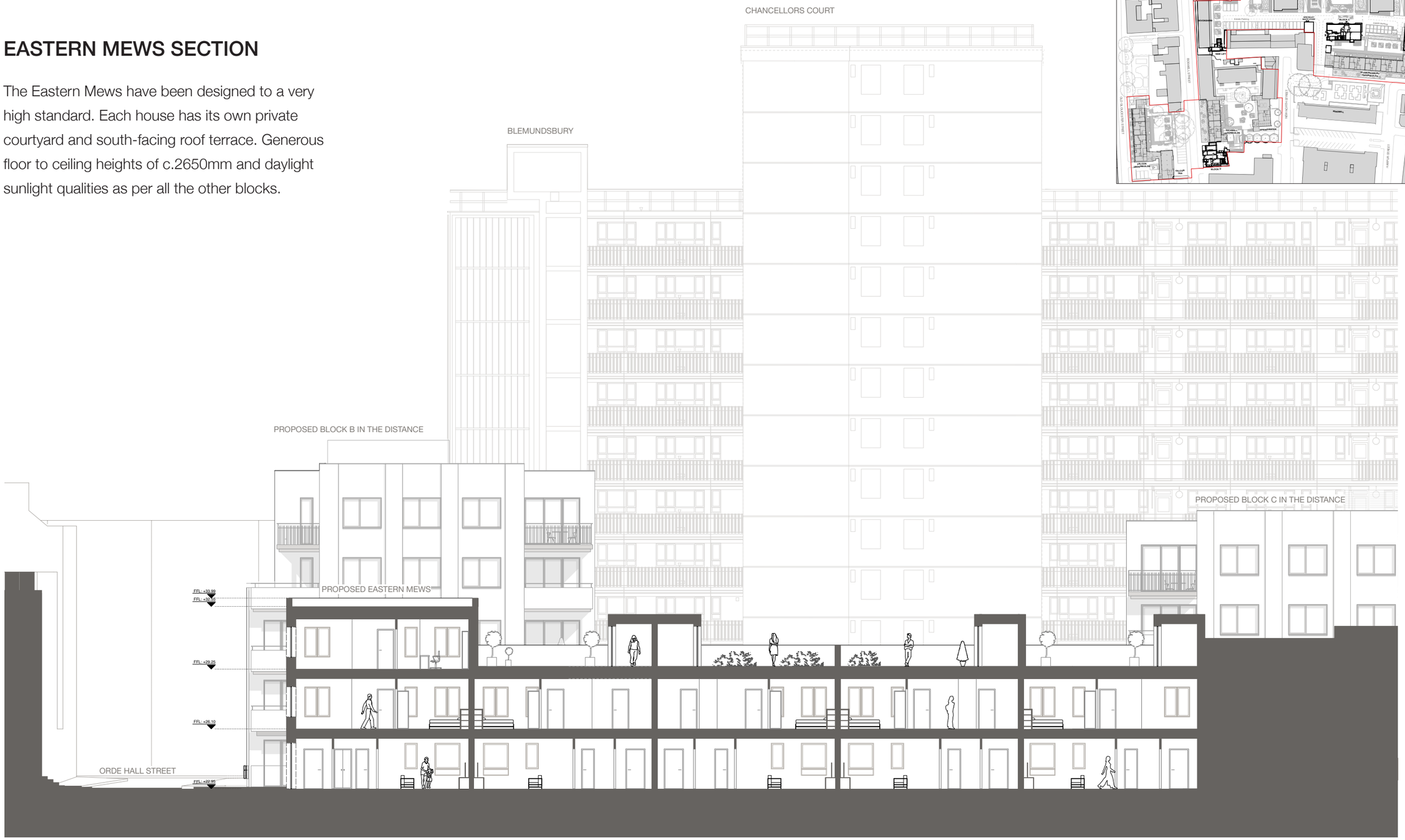
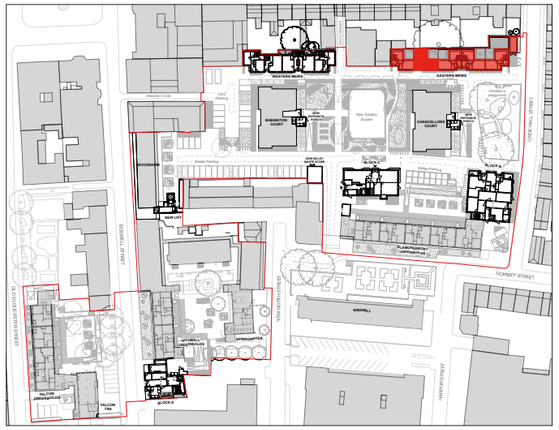


LONG SECTION

7.4 PROPOSED EASTERN MEWS

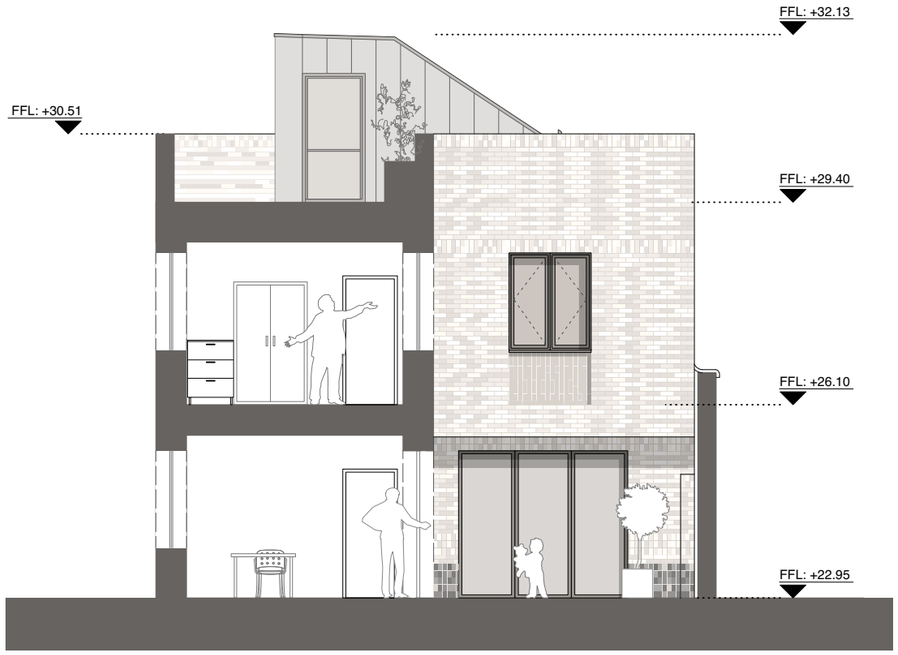


KEY

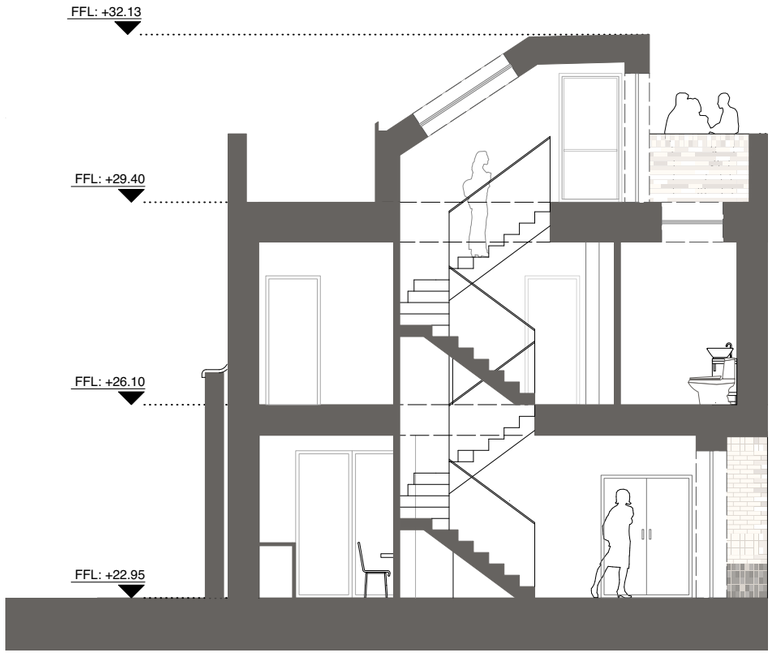
EASTERN MEWS TYPICAL SECTIONS

Having both roof terraces and gardens allows these houses to be enjoyed in their fullness, with a lot of daylight coming in, and a variety of spaces at the resident's disposal.

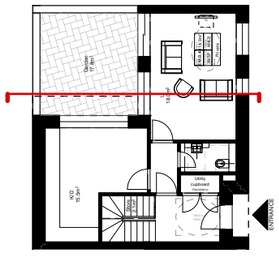
The sloping nature of the zinc stair pop-ups mean less visual impact to the existing residents on Great Ormond Street.

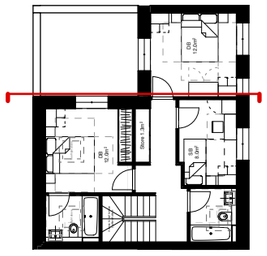


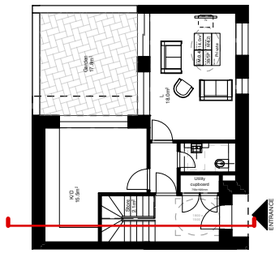
TYPICAL MEWS HOUSE SECTION B-B

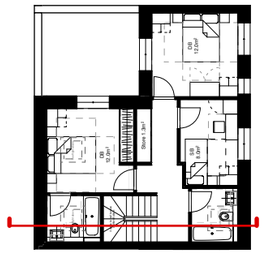


TYPICAL MEWS HOUSE SECTION C-C

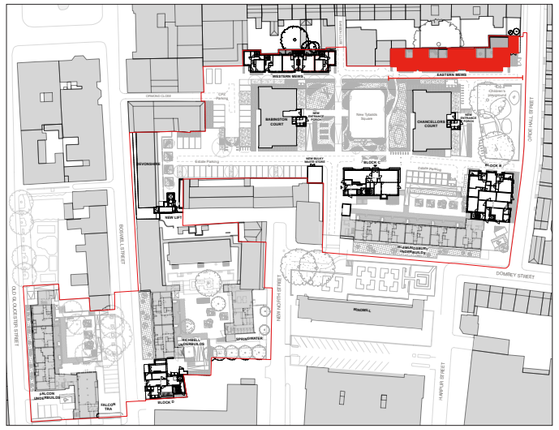








7.4 PROPOSED EASTERN MEWS



KEY

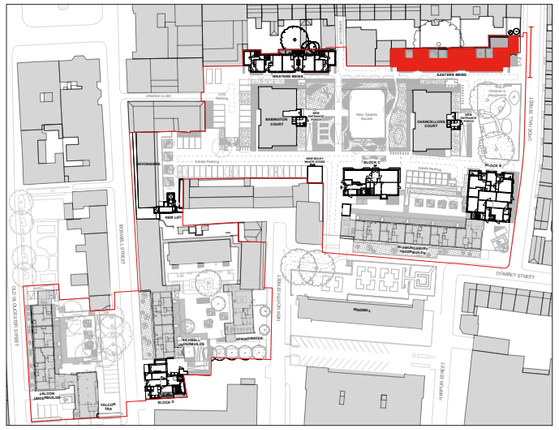
EASTERN MEWS ELEVATIONS

Creating a new street, the south elevation faces onto the main Estate and Tybalds Square, with light buff brickwork and a collection of singe and double windows, alternated with recessed blank panels. The stair pop-ups to the roof terraces emerge from the high parapet wall and blend in with their surroundings.

SOUTH ELEVATION

7.4 PROPOSED EASTERN MEWS

EAST ELEVATION

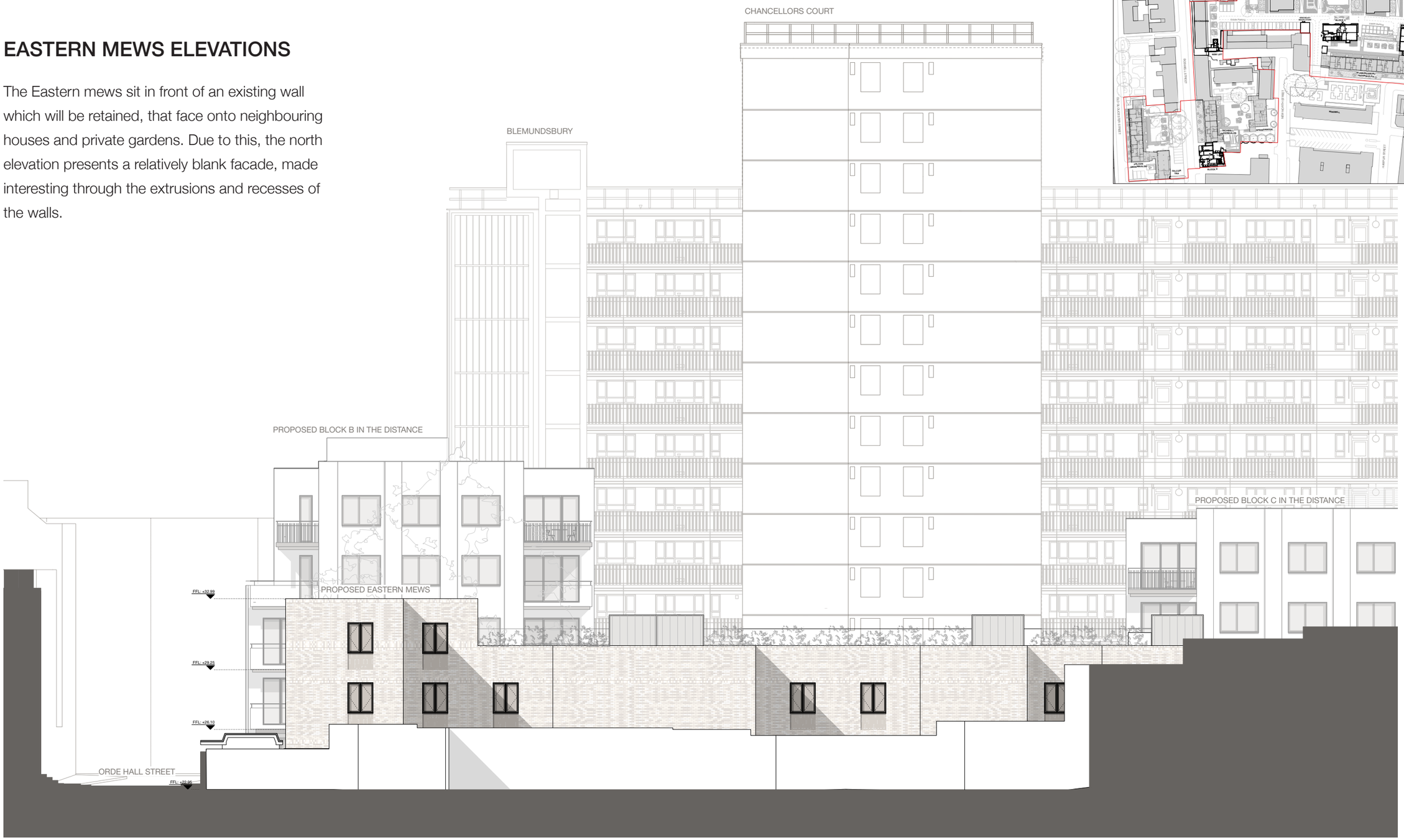


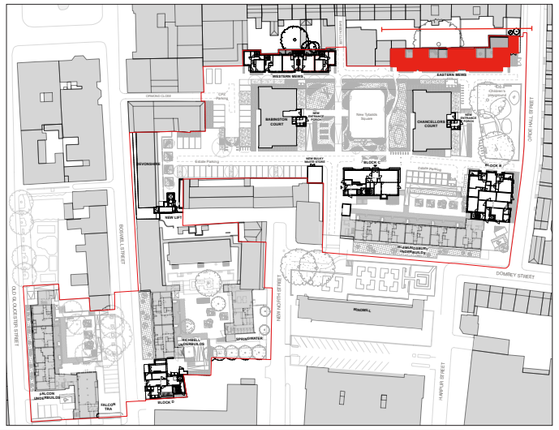
KEY

7.4 PROPOSED EASTERN MEWS

EASTERN MEWS ELEVATIONS

The Eastern mews sit in front of an existing wall which will be retained, that face onto neighbouring houses and private gardens. Due to this, the north elevation presents a relatively blank facade, made interesting through the extrusions and recesses of the walls.



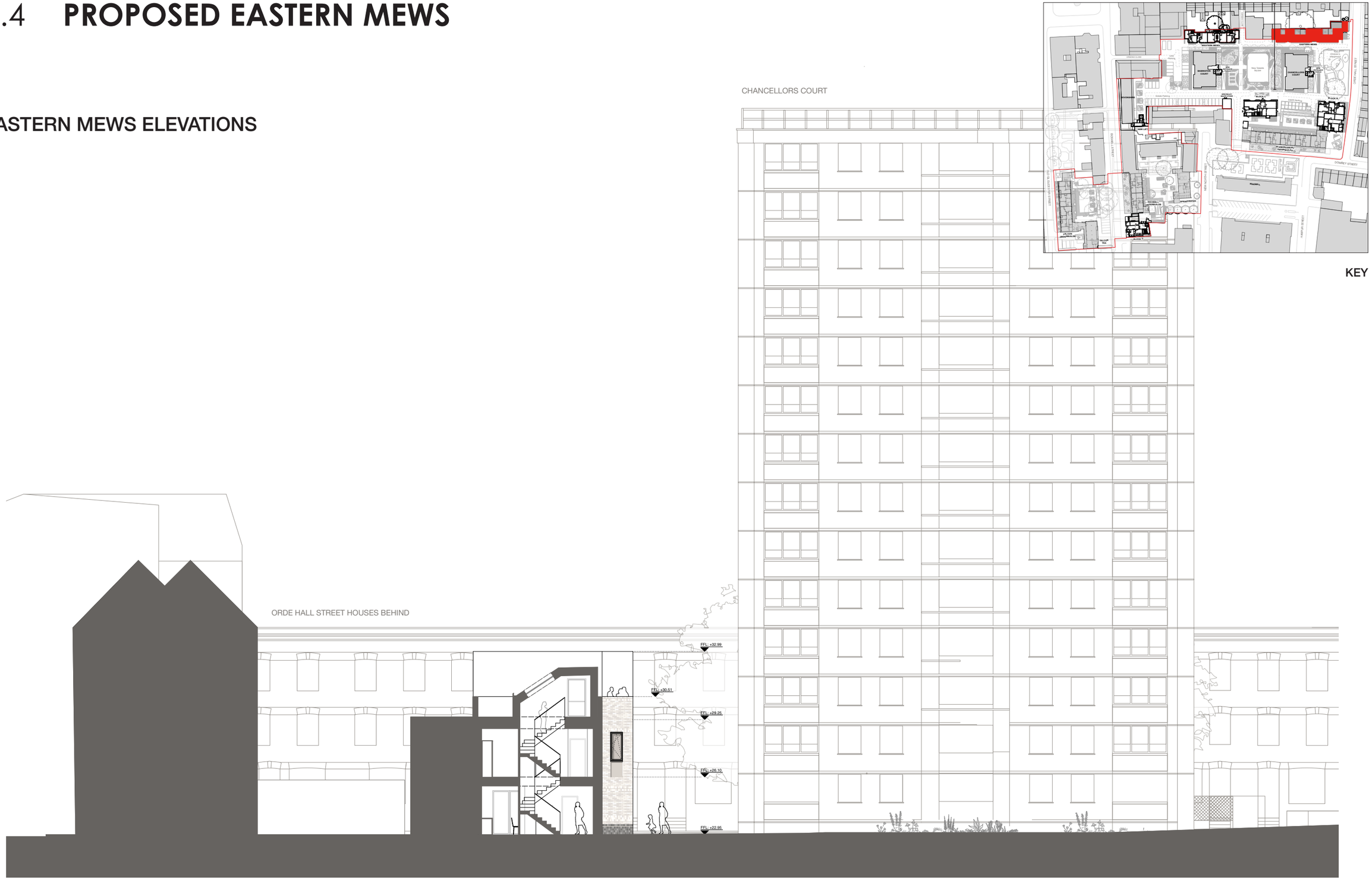


KEY

NORTH ELEVATION

7.4 PROPOSED EASTERN MEWS

EASTERN MEWS ELEVATIONS



WEST ELEVATION

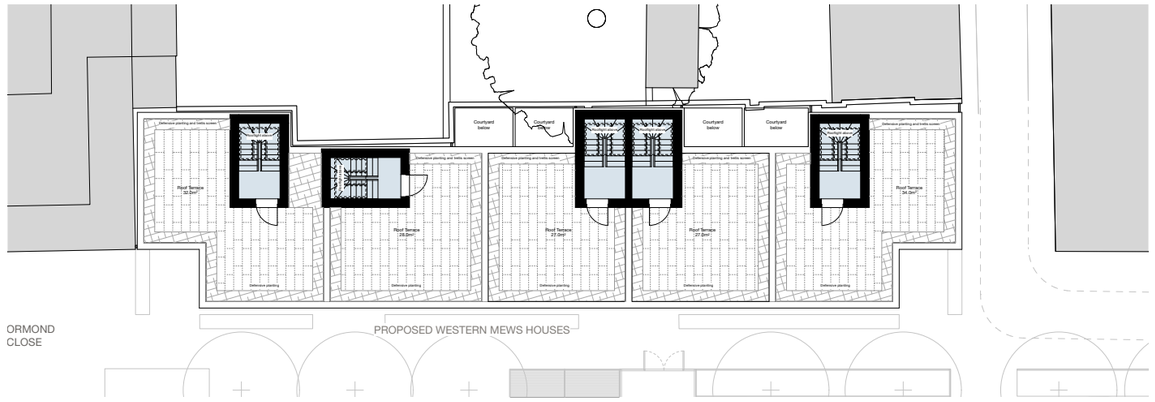
7.5 PROPOSED WESTERN MEWS

WESTERN MEWS PLANS

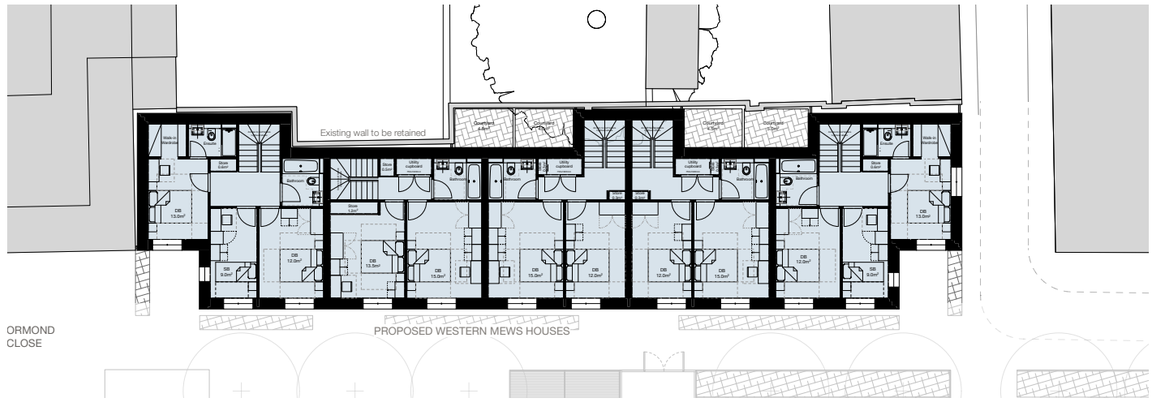
Similarly to the Eastern Mews, the Western Mews comprises 5 terraced two-storey houses for private market sale. All have roof terraces and four also have private courtyards.

In summary these consist of:
-2x 3B5P houses
-3x 2B4P houses

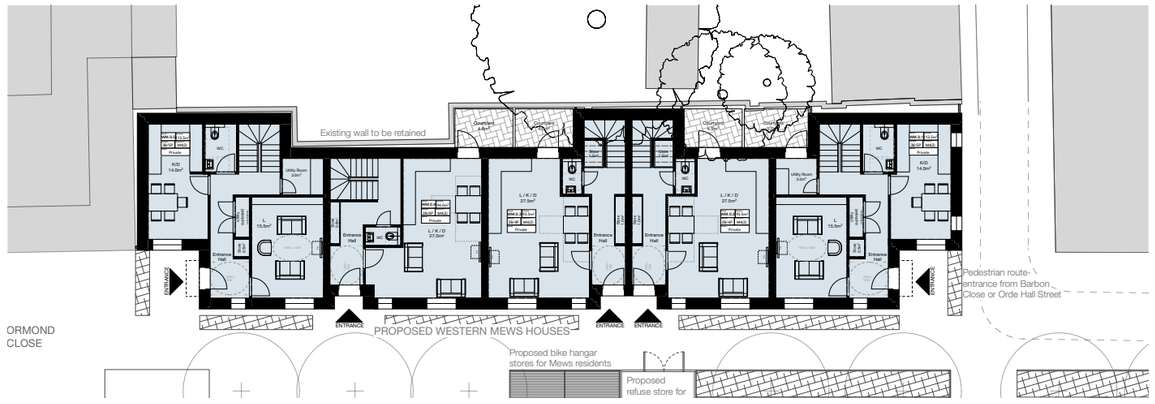
Access to these will be from either Orde Hall Street or Barbon Close.



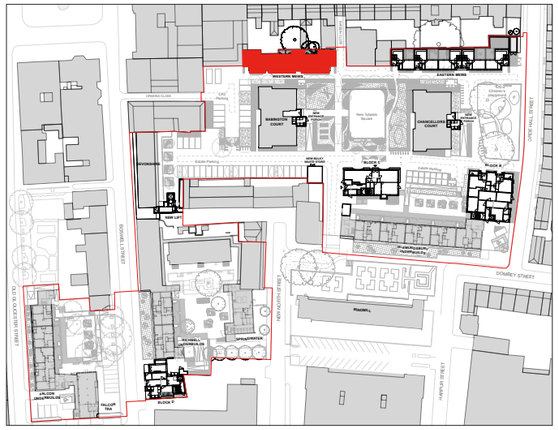
SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN

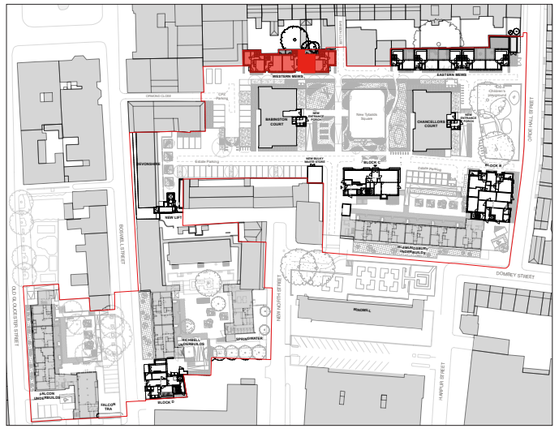


KEY

Birds eye view from site model

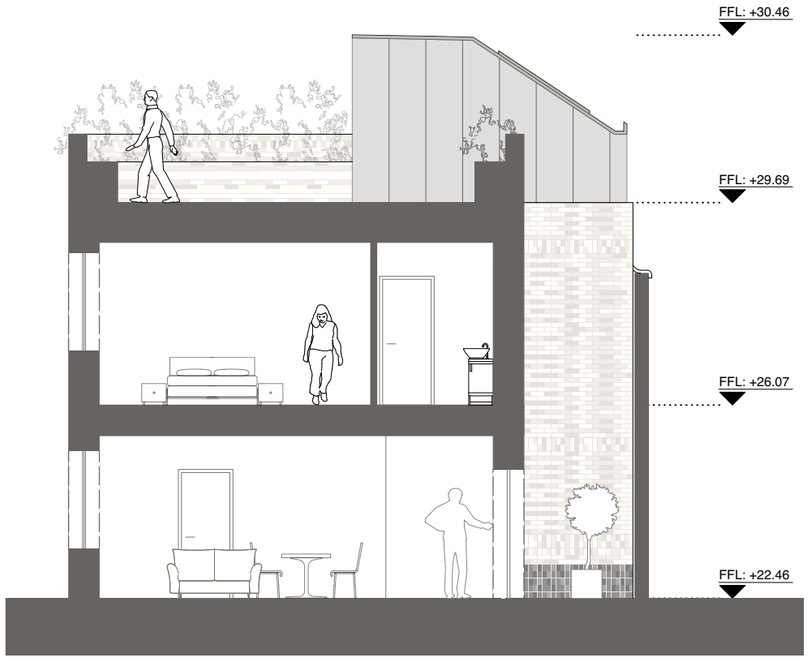
Tybalds Square view from 3D model

7.5 PROPOSED WESTERN MEWS

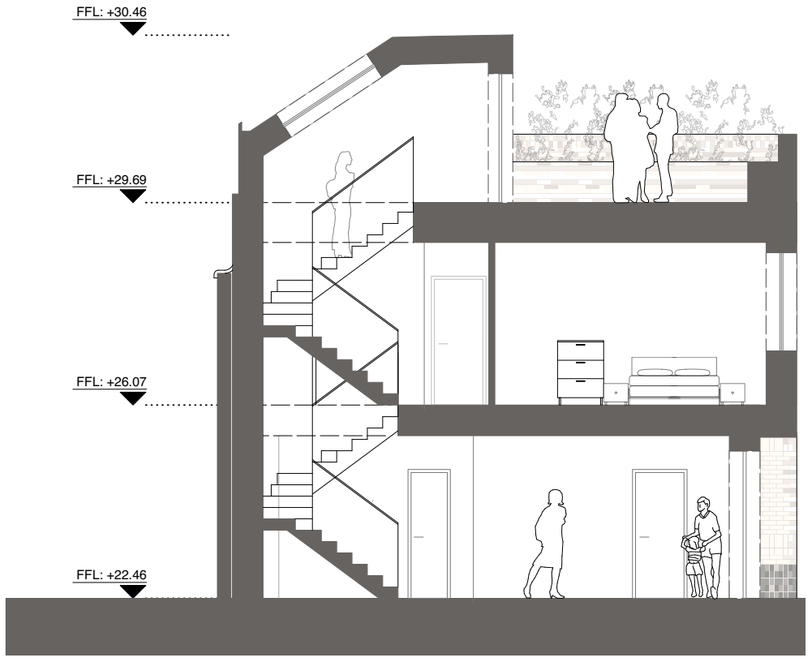


KEY

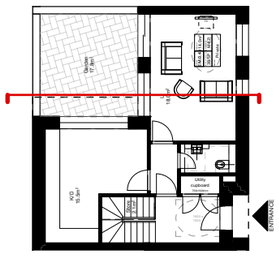
WESTERN MEWS TYPICAL SECTIONS

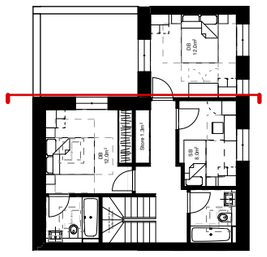


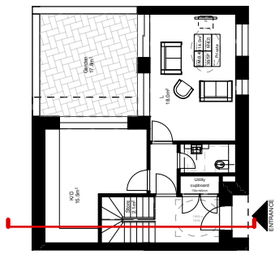
TYPICAL MEWS HOUSE SECTION A-A

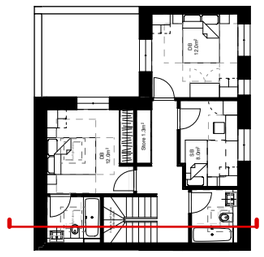


TYPICAL MEWS HOUSE SECTION B-B

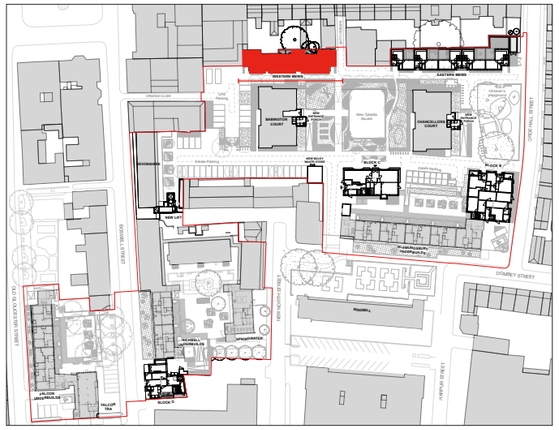








7.5 PROPOSED WESTERN MEWS



KEY

WESTERN MEWS ELEVATIONS

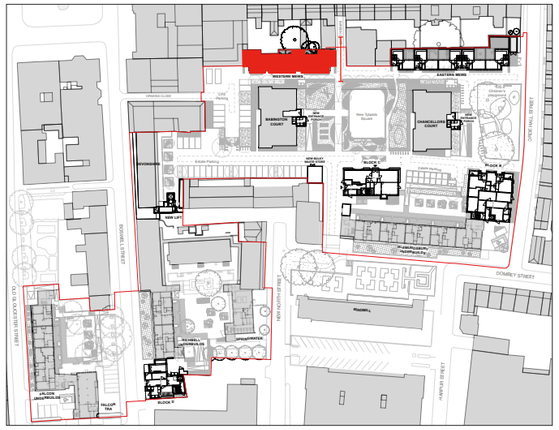
Forming a twin set with the Eastern mews the Western mews follows all the same design and architectural principles.
The proportions of the windows to the brick walls have been carefully thought out carefully minding Babington court's kitchen windows.

SOUTH ELEVATION

7.5 PROPOSED WESTERN MEWS

WESTERN MEWS ELEVATIONS

EAST ELEVATION

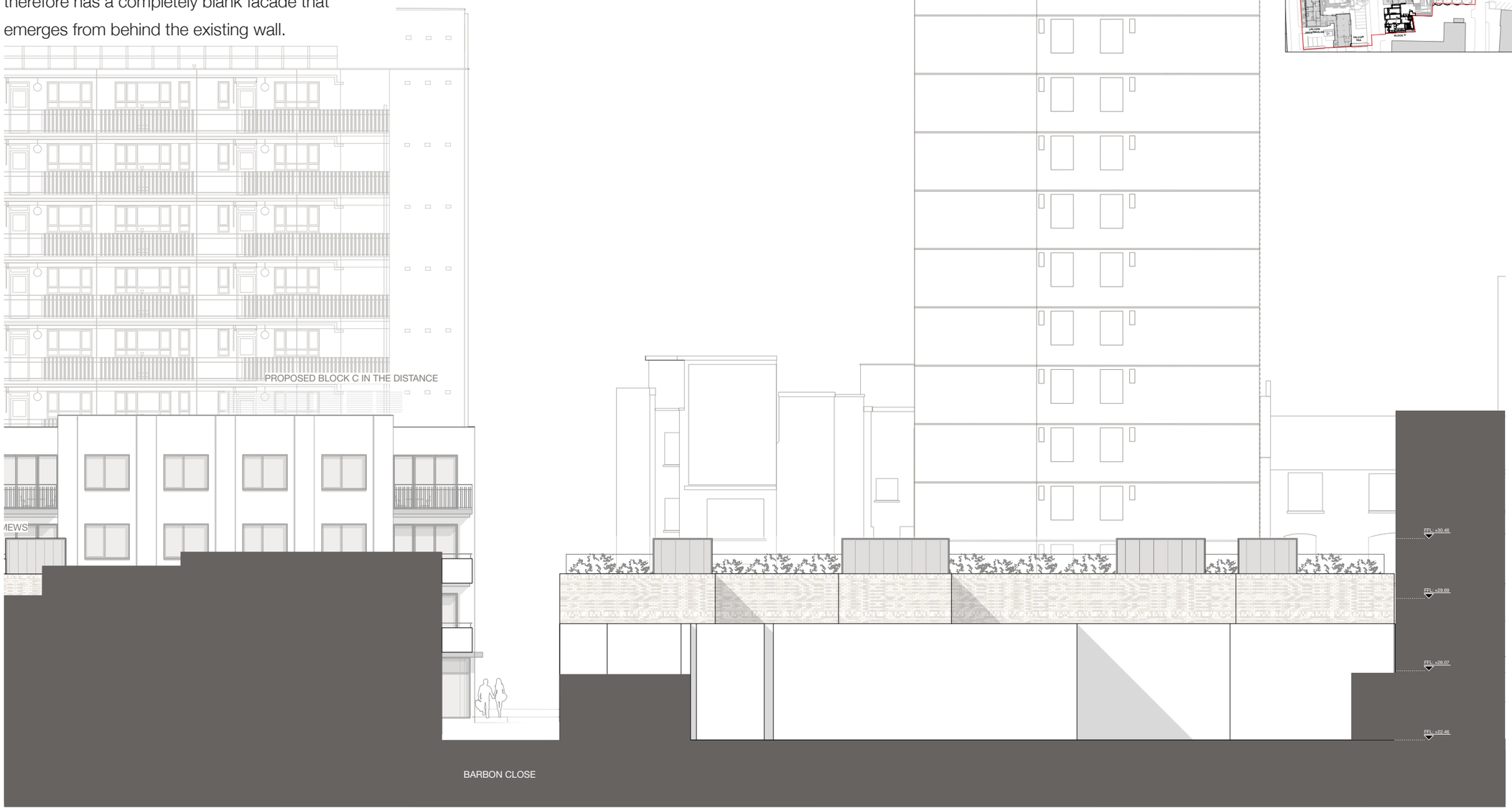


KEY

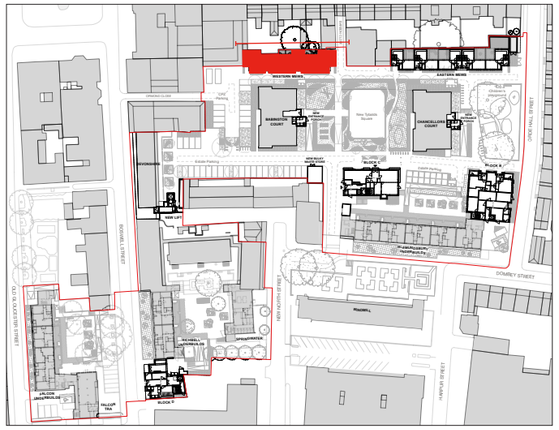
7.5 PROPOSED WESTERN MEWS

WESTERN MEWS ELEVATIONS

The Western Mews sit in front of a listed 2-storey high brick wall that needs to be retained, and therefore has a completely blank facade that emerges from behind the existing wall.



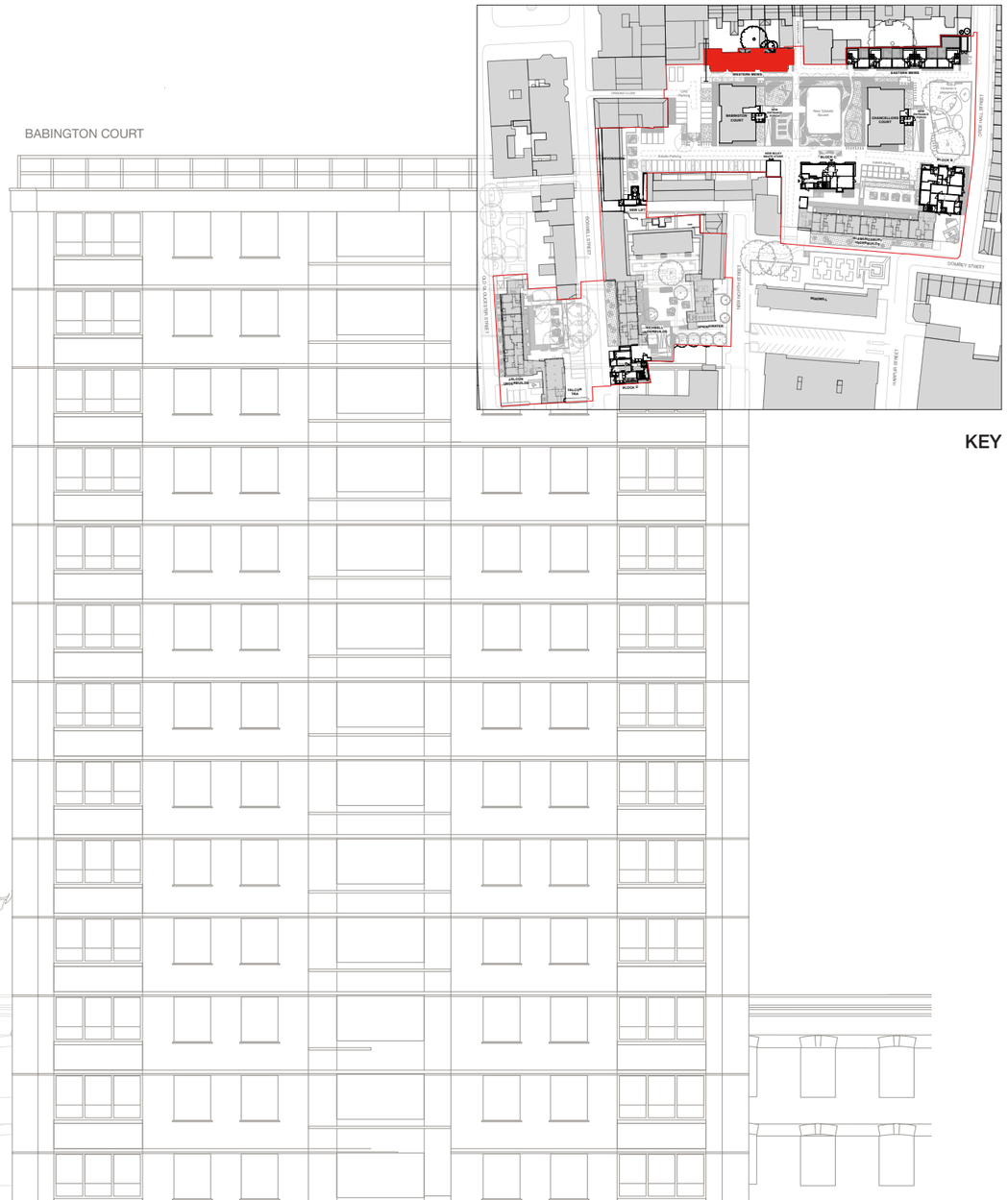
NORTH ELEVATION

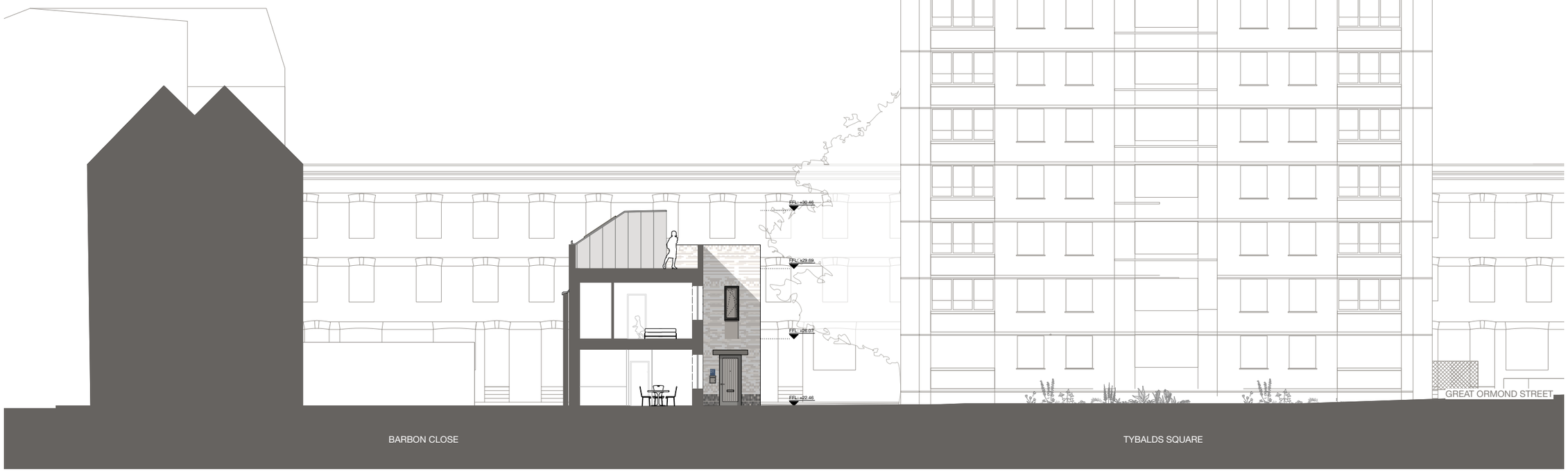


KEY

7.5 PROPOSED WESTERN MEWS

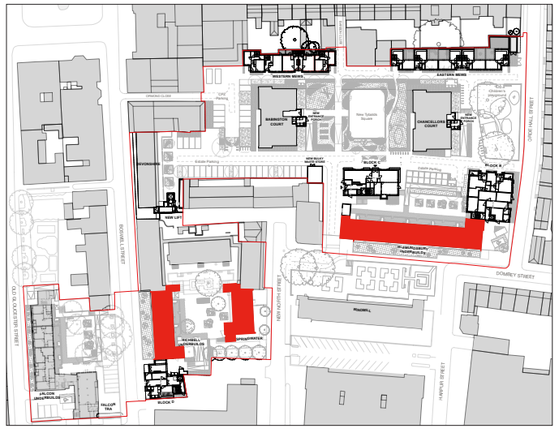
WESTERN MEWS ELEVATIONS





WEST ELEVATION

7.6 PROPOSED UNDERBUILDS



KEY

UNDERBUILD PLANS

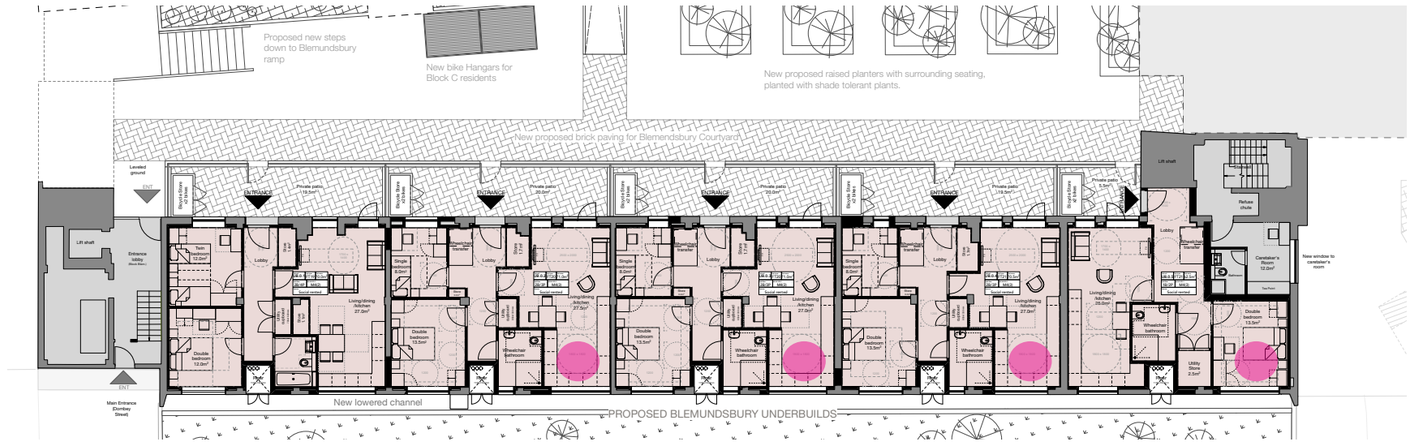
Blemundsbury, Richbell and Falcon have storage areas at lower ground floor level. The stores have been out of commission for many years and convert readily into dual aspect flats.

Blemundsbury underbuilds:

Provides 5 new social rent units on the lower ground floor of the Blemundsbury block. Out of these, 4 will be wheelchair user (marked with a pink circle) units which will be accessed by the new ramp between Blocks B and C.

A new caretaker's office on the far east is also being provided within the Blemundsbury Underbuilds, with a new window being added for natural daylight and ventilation.

More information on the wheelchair-accessible units provided to be found in section 10 of this report.



BLEMUNDSBURY - LOWER GROUND FLOOR

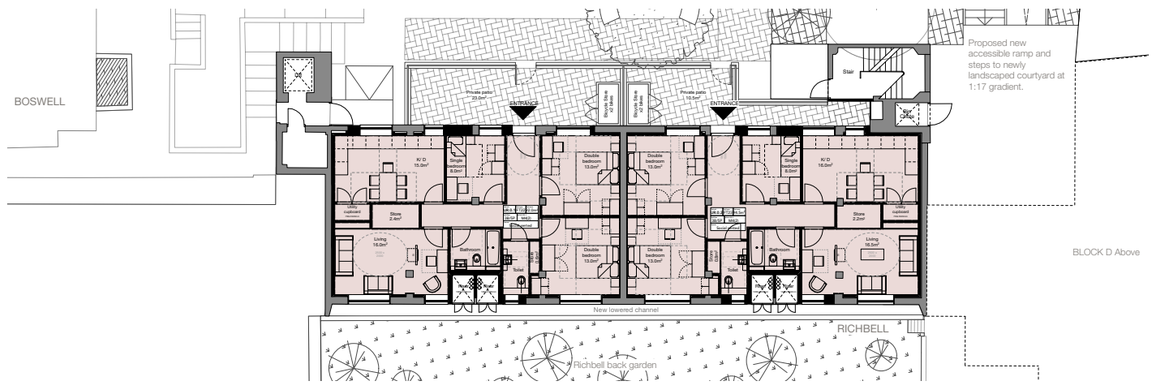
Richbell Underbuilds:

The Richbell underbuilds will provide 2 new social rent family 3B5P units, each designed around their existing conditions and constraints.

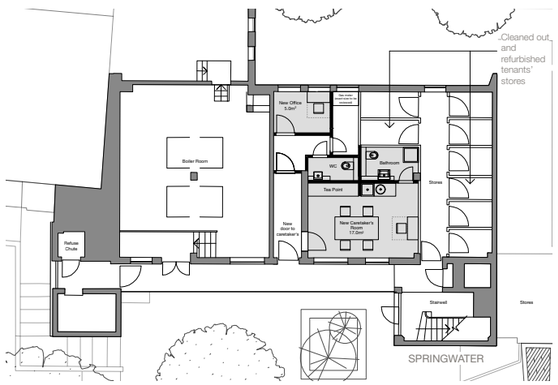
Springwater Underbuilds:

A new caretakers room and bathroom facilities are proposed within the Springwater underbuilds.

WHEELCHAIR ACCESSIBLE

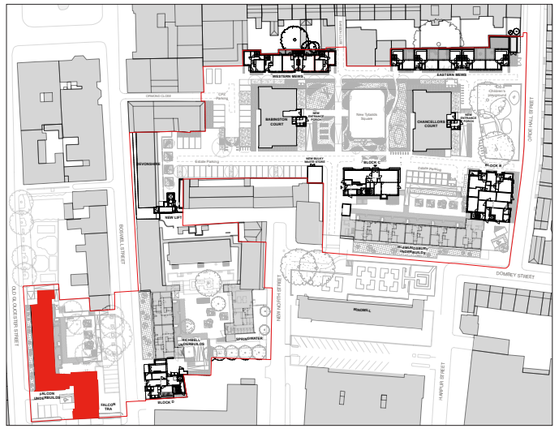


RICHBELL - LOWER GROUND FLOOR



SPRINGWATER - LOWER GROUND FLOOR

7.6 PROPOSED UNDERBUILDS



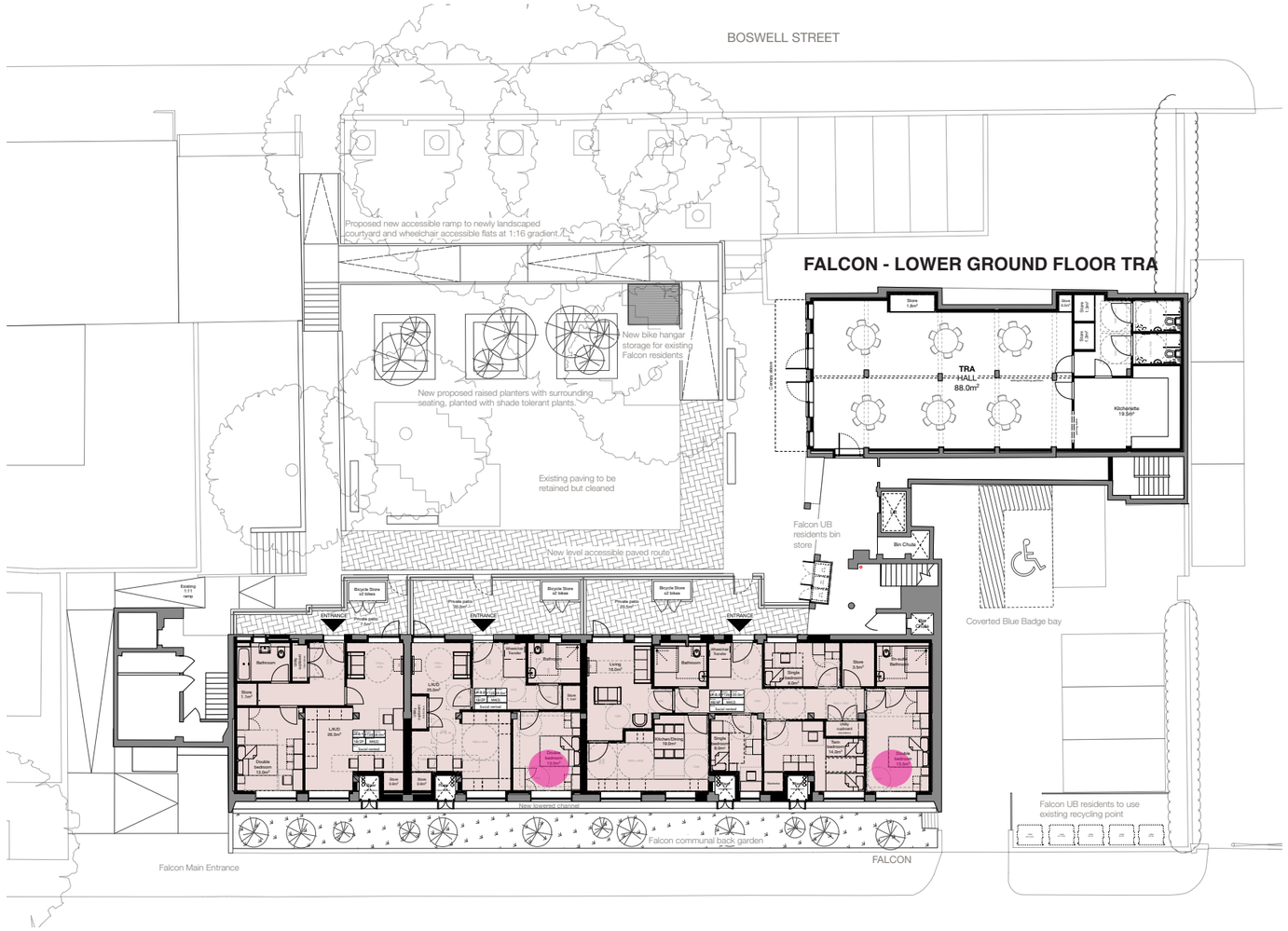
KEY

UNDERBUILD PLANS

Falcon Underbuilds:

The Falcon underbuilds comprises of 3 social rent units. In the Falcon extension, the store has less natural light and is unsuitable for residential conversion but quite suitable for a temporary community hall for residents of the estate prior to Block C being constructed.

Out of the three units, two will be allocated wheelchair user dwellings (marked with a pink circle).



WHEELCHAIR ACCESSIBLE

FALCON - LOWER GROUND FLOOR

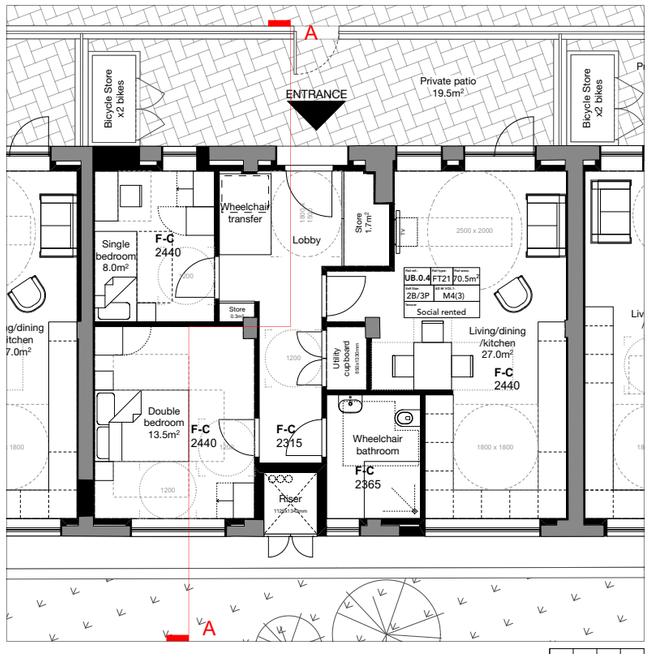
7.6 PROPOSED UNDERBUILDS

BLEMUNDSBURY UNDERBUILDS

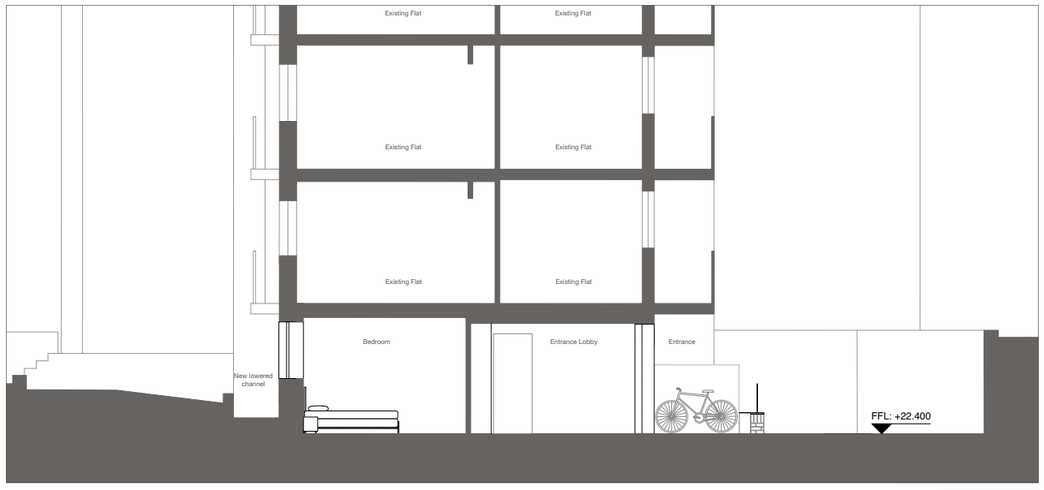
PROPOSED NORTH ELEVATION 1:100 @ A1

PROPOSED SOUTH ELEVATION 1:100 @ A1

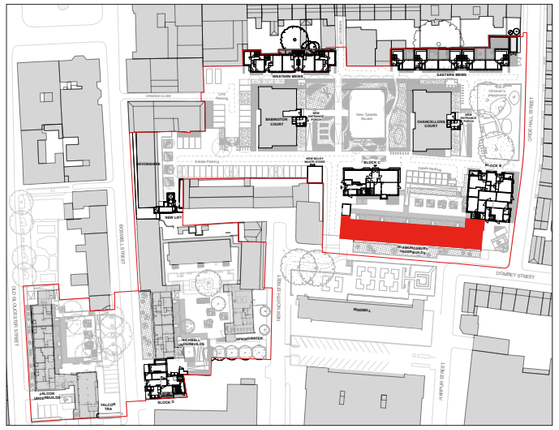
PROPOSED EAST ELEVATION 1:100 @ A1



PROPOSED TYPICAL LOWER GROUND PLAN 1:50 @ A1



PROPOSED TYPICAL SECTION A-A 1:50 @ A1



KEY

All of the newly proposed underbuild flats are designed within existing basement spaces and therefore are quite constrained. Riser cupboards have been designed to fit into the units as the existing pipework will be re routed as part of the Better Homes works that Camden is undertaking across the Estate. These works do not form part of this planning application.

Blemundsbury underbuilds flats have a floor-to-ceiling of c. 2.4m in living areas and less in circulation/ bathroom spaces.
This is due to having to line and insulate the existing structure.

The ground of Blemundsbury courtyard will follow that of the new underbuilds FFL to allow for smooth access and circulation of wheelchair users.

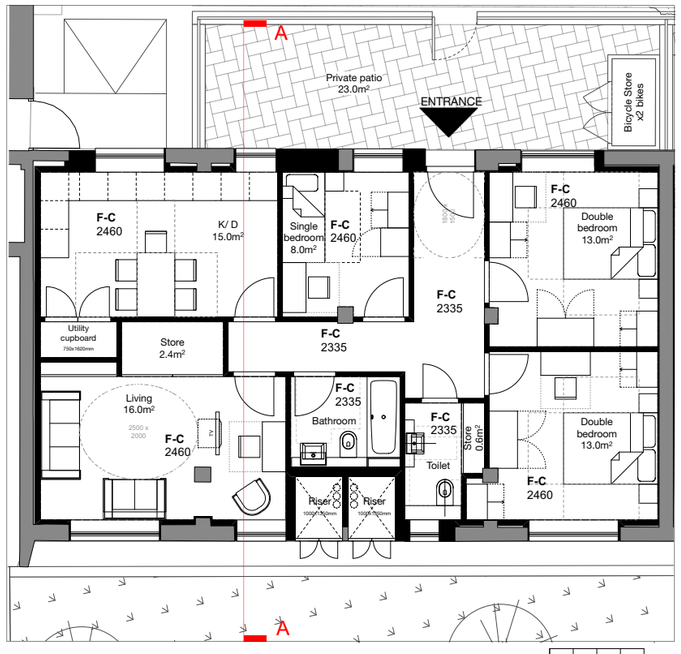
7.6 PROPOSED UNDERBUILDS

RICHBELL UNDERBUILDS

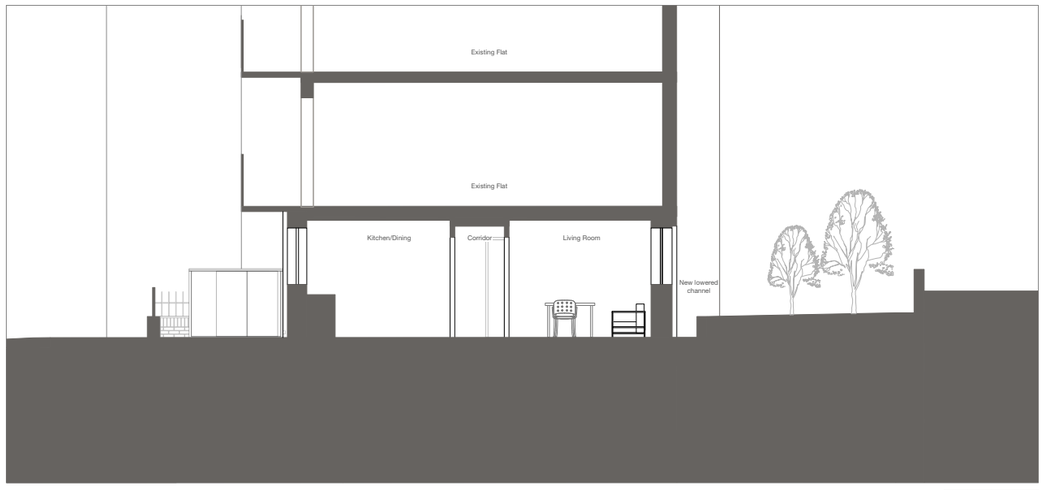
PROPOSED SOUTHWEST ELEVATION 1:100

PROPOSED NORTHEAST ELEVATION 1:100

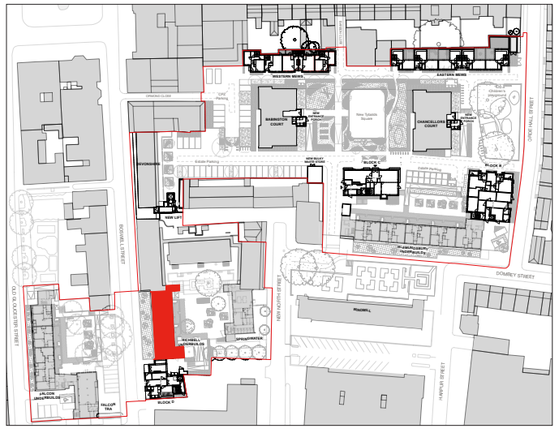
PROPOSED SOUTHEAST ELEVATION 1:100



PROPOSED TYPICAL LOWER GROUND PLAN 1:50



PROPOSED TYPICAL SECTION 1:50



KEY

The London Plan Housing SPG 'strongly encourages' a minimum ceiling height of 2.5m for at least 75% of the GIA.

However the National Described Space Standards requires 2.3m for at least 75% of the Gross Internal Area.

Similarly to Blemundsbury, Richbell underbuilds complies with the **National Described Space Standards**, with ceiling heights at c. 2.4m.

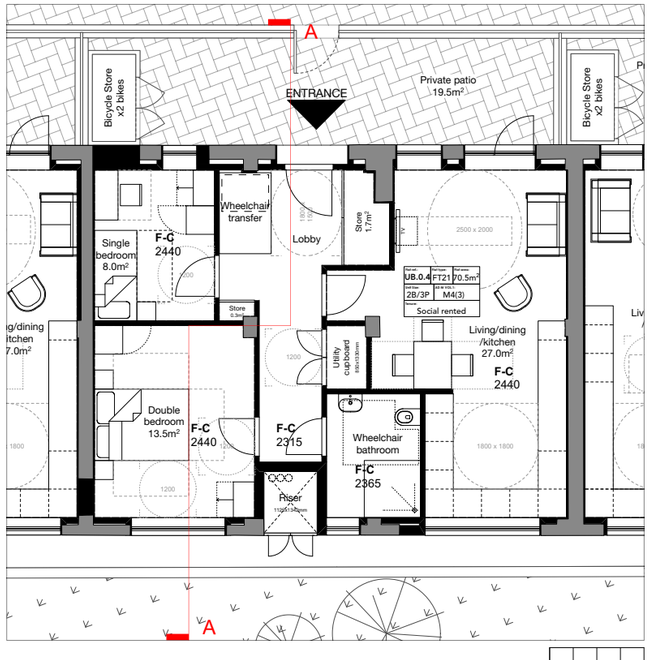
7.6 PROPOSED UNDERBUILDS

FALCON UNDERBUILDS

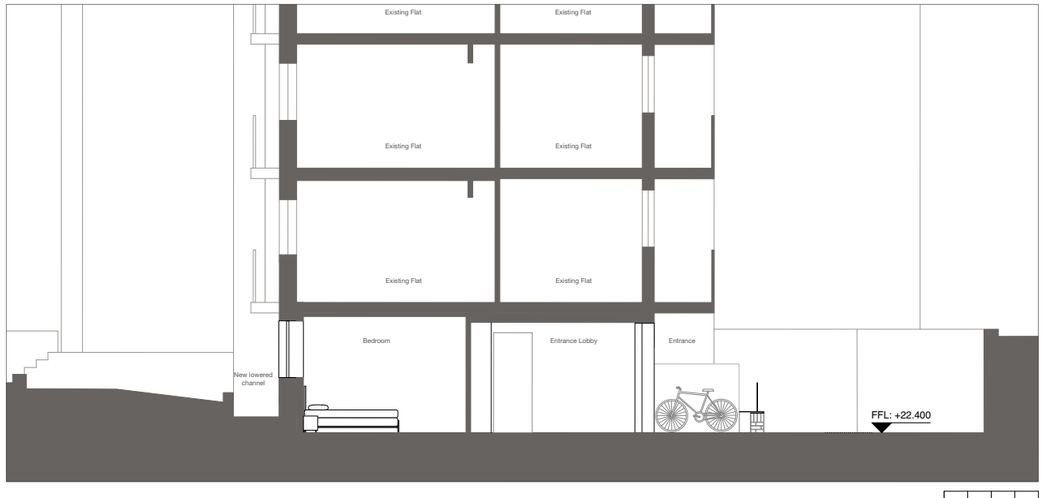
PROPOSED NORTH ELEVATION 1:100 @ A1

PROPOSED SOUTH ELEVATION 1:100 @ A1

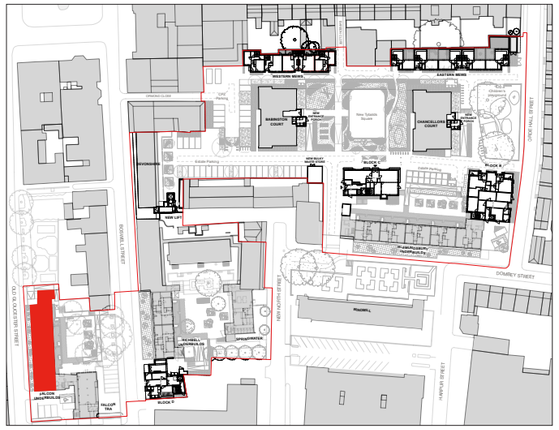
PROPOSED EAST ELEVATION 1:100 @ A1



PROPOSED TYPICAL LOWER GROUND PLAN 1:50 @ A1



PROPOSED TYPICAL SECTION A-A 1:50 @ A1

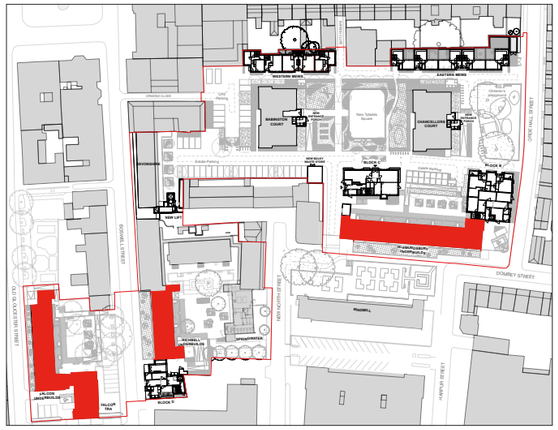


KEY

Similar architecture, language and layout is used to tie all three sets of underbuilds together.

Again, the floor to ceiling heights comply with the National Described Space Standards, with ceiling heights at c. 2.4m due to insulation and lining.

7.6 PROPOSED UNDERBUILDS

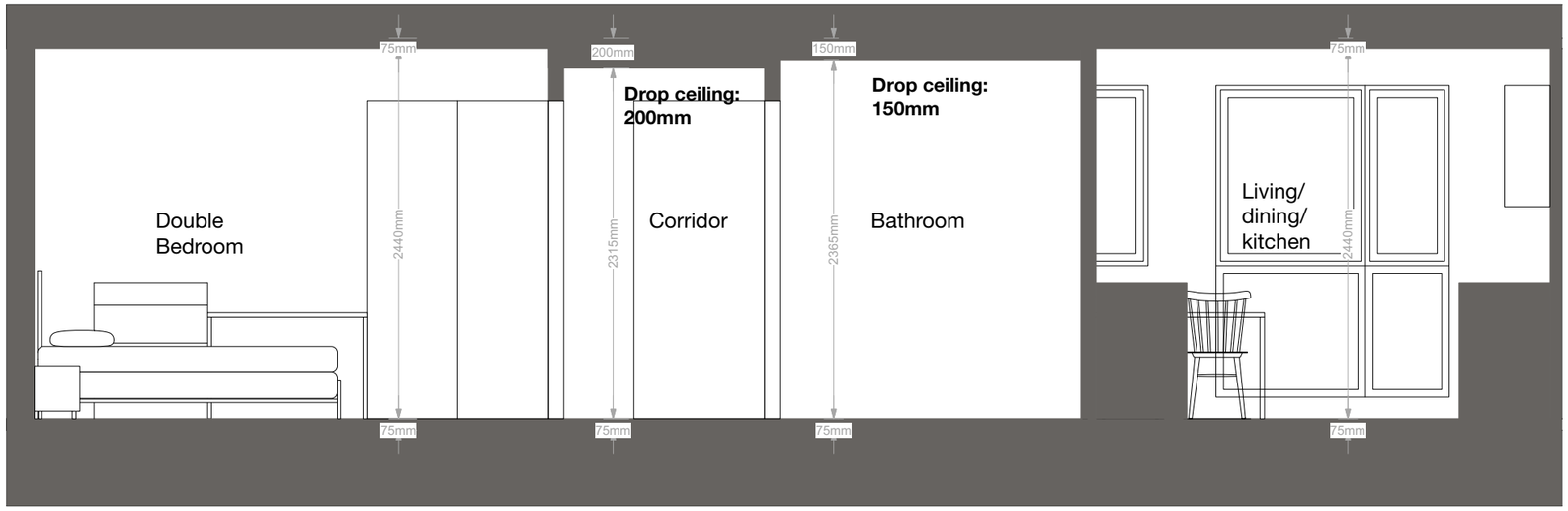


KEY

UNDERBUILD TYPICAL SECTION

This typical section shows the strategy used in order to insulate the existing building structure.

It is for this reason the floor to ceiling heights need to be slightly less, whilst still complying with the National Described Space Standards, in particular in the corridors and bathrooms to allow for services to run through a dropped ceiling.



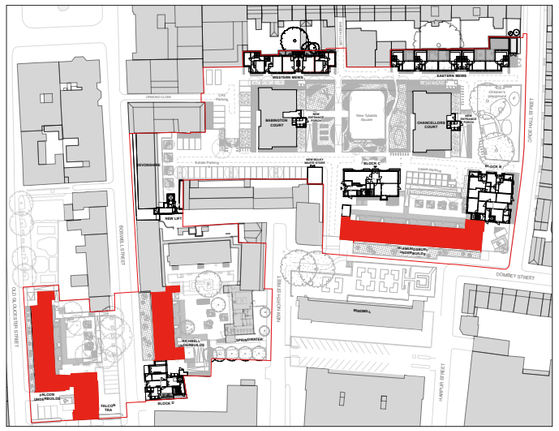
TYPICAL SECTION

7.6 PROPOSED UNDERBUILDS

UNDERBUILD TYPICAL ELEVATIONS

TYPICAL ELEVATION

TYPICAL ELEVATION



KEY

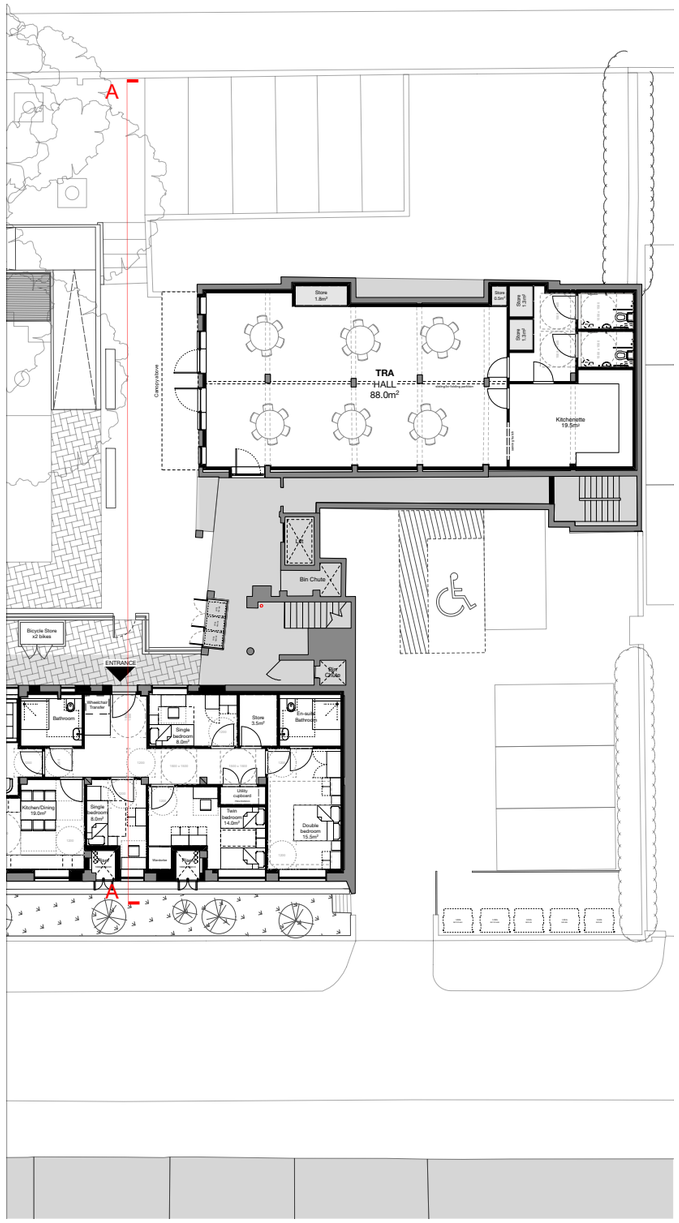
The main elements used to make up the underbuilds elevations are different types of windows to represent different usage within the plan.
These are also directly positioned in place of the existing windows as much as possible, to limit the work on the existing brickwork.

Riser cupboard louvred access doors are positioned on the rear elevations of the underbuilds and secured-by-design bike stores within the private patios near front entrances.

Please refer to Section 9.4 of this document for further information on the riser access cupboards.

7.6 PROPOSED UNDERBUILDS

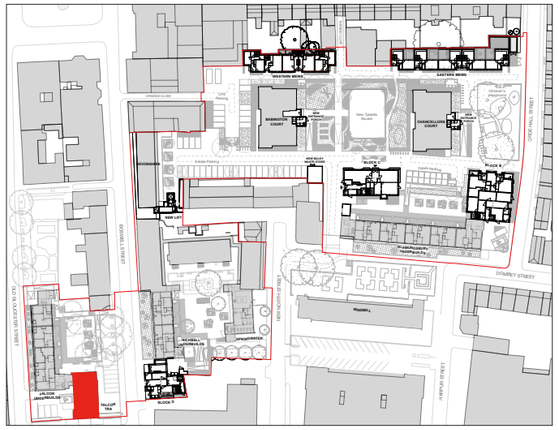
FALCON TRA UNDERBUILDS



LOWER GROUND FLOOR

PROPOSED FALCON SECTION

DETAILED ELEVATION VIEW



KEY

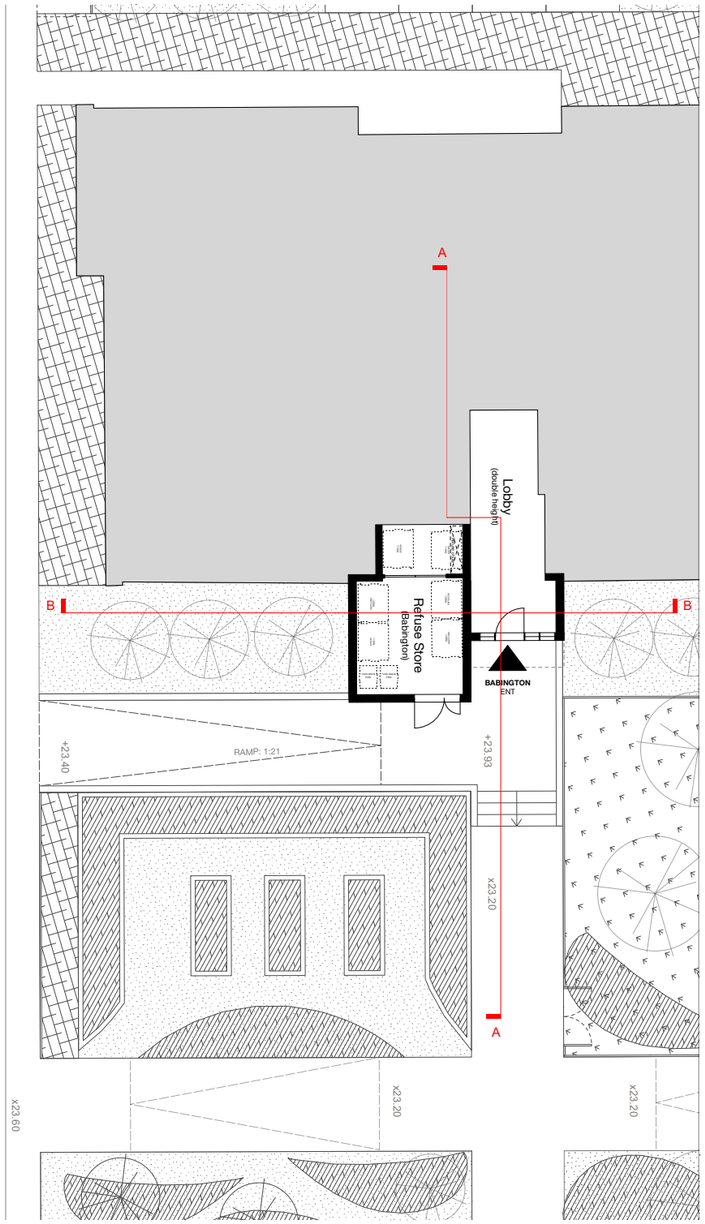
Falcon Community Hall is being proposed as a temporary solution whilst the Block C TRA hall is being constructed.

It is necessary for this temporary TRA hall to be provided because the existing hall will be closed to facilitate the Blemundsbury underbuild conversion works, which form part of Phase 1. This strategy ensures that there is always a community hall available for residents.

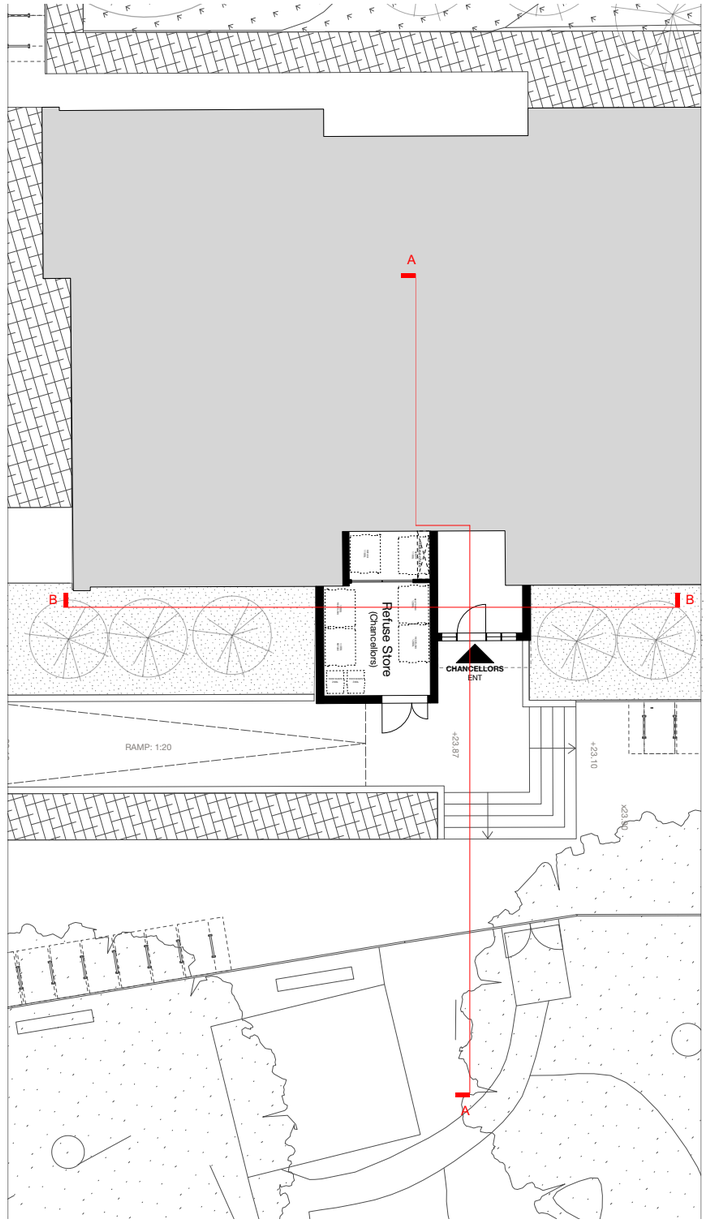
A simple strategy and design allows for a big hall with amenity space at the back that can hold up to 60 people. Glazed panels and entrance doors welcome residents into the space.

7.7 PROPOSED TOWER ENTRANCES

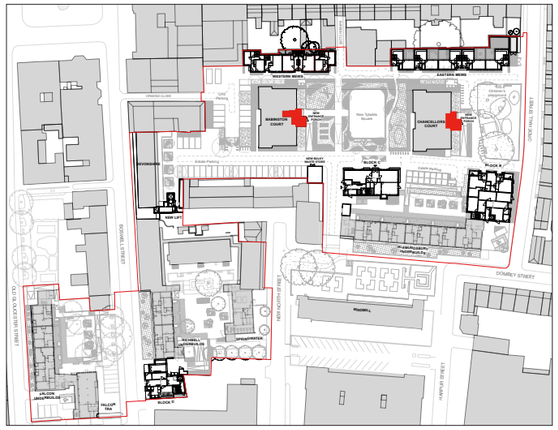
TOWER ENTRANCE PLANS



BABINGTON COURT ENTRANCE - GROUND FLOOR PLAN



CHANCELLORS COURT ENTRANCE - GROUND FLOOR PLAN



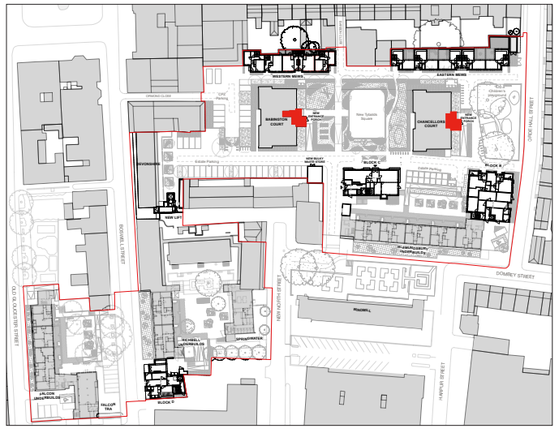
KEY

The new entrances to **Chancellors and Babington Courts** have a wheelchair compliant shallow ramp and steps.

The new entrances have been designed to accommodate an extension to the refuse stores.

A light buff brick has been chosen for the Mews Houses, the new entrances to Babington and Chancellors and for Block D as a method of harmonising the appearance of the new buildings.

7.7 PROPOSED TOWER ENTRANCES



TOWER ENTRANCE ELEVATIONS

The elevations of the tower entrance porches link with those of Block D and Mews houses with light buff brickwork, as a new and delicate addition to the tower courts.
A shallow pitch has been placed on the entrance roof for safety reasons.

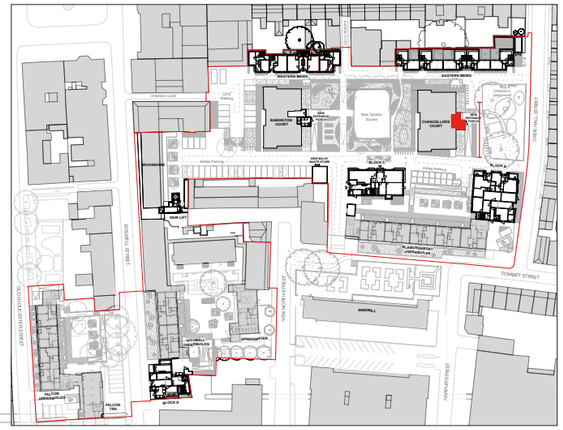
KEY

BABINGTON COURT ELEVATIONS

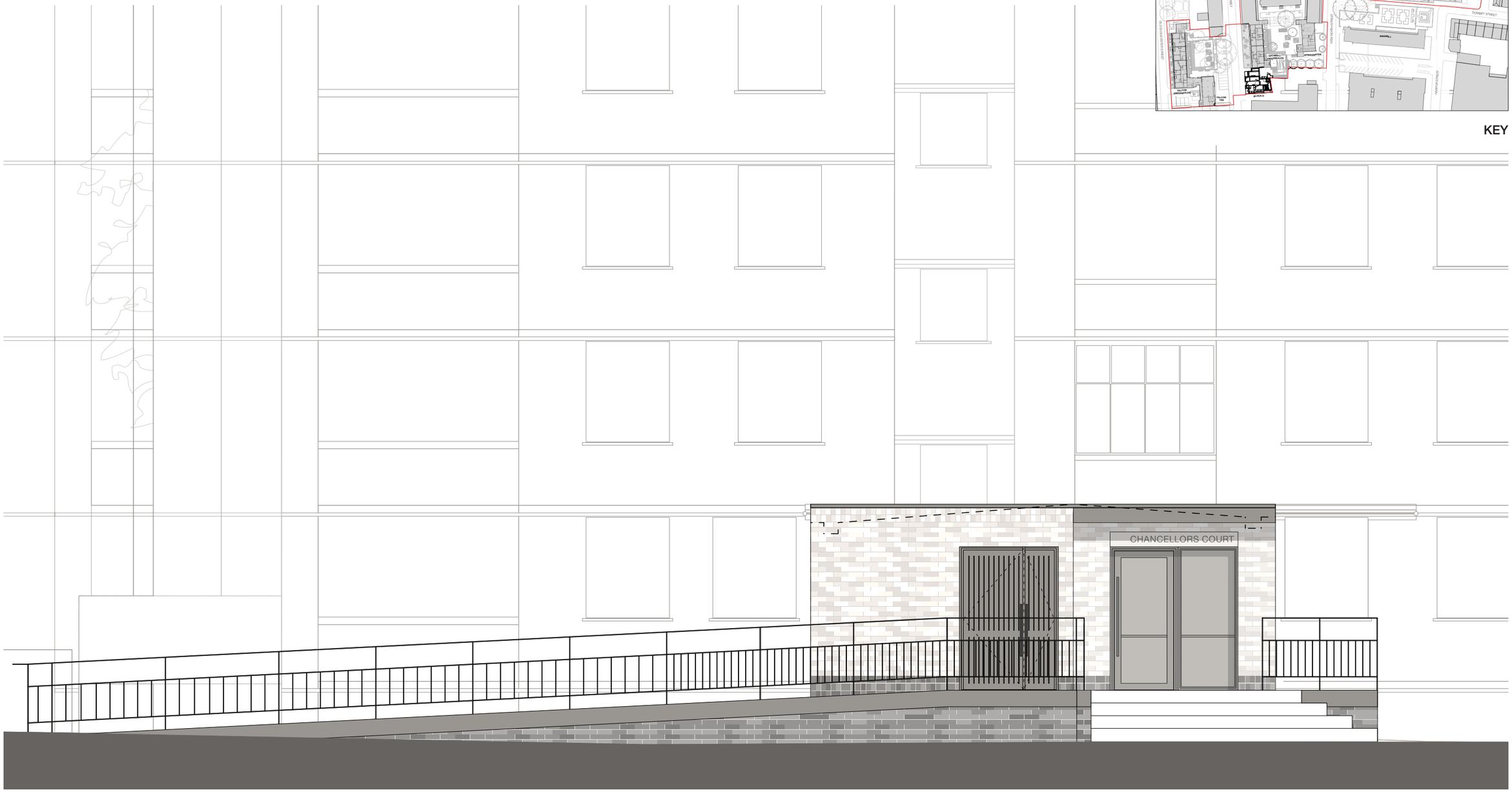
CHANCELLORS COURT ELEVATIONS

7.7 PROPOSED TOWER ENTRANCES

DETAILED ELEVATION



KEY



CHANCELLORS COURT ELEVATION

7.8 PROPOSED DEVONSHIRE LIFT

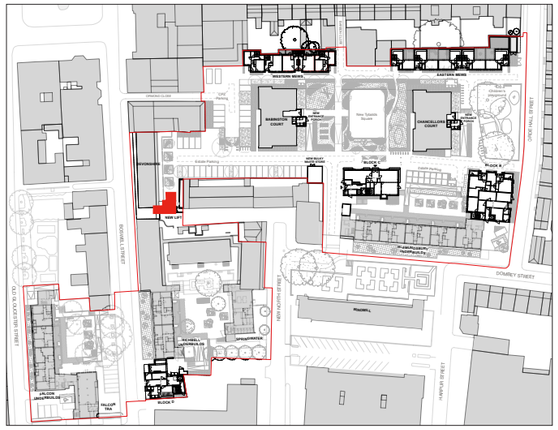
DEVONSHIRE LIFT PLAN

The new Devonshire lift is designed to be an extension of the existing stair core, improving accessibility to Devonshire Court residents.

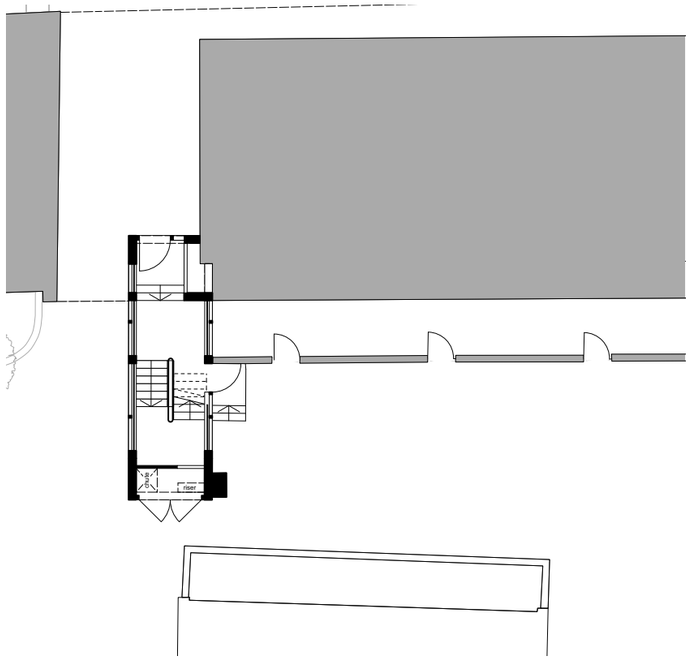
It is designed so that minimum disruption is caused to residents during construction and the existing stair will stay in use throughout.

The lift also provides a second entrance from the east through a secure gate and front door, thereby cutting off an existing public route which to date has been location of occasional anti-social behaviour.

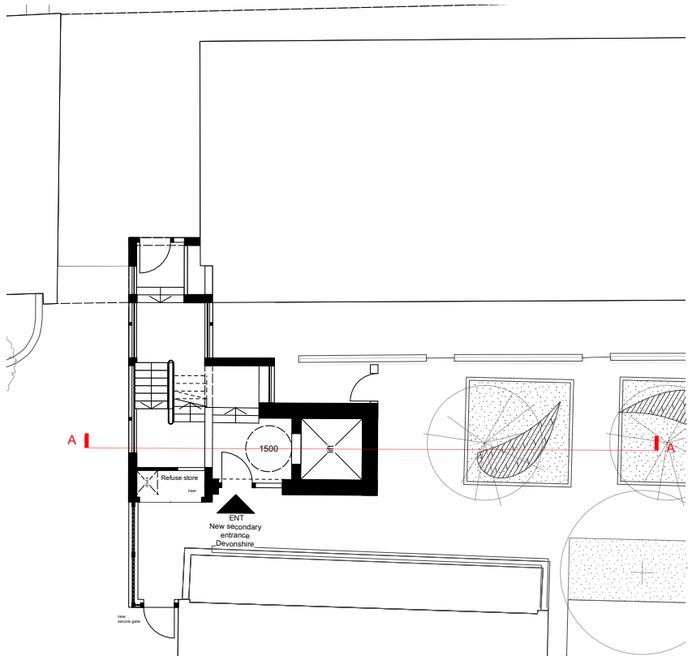
Existing Devonshire Court stair core and position of new lift (in red)



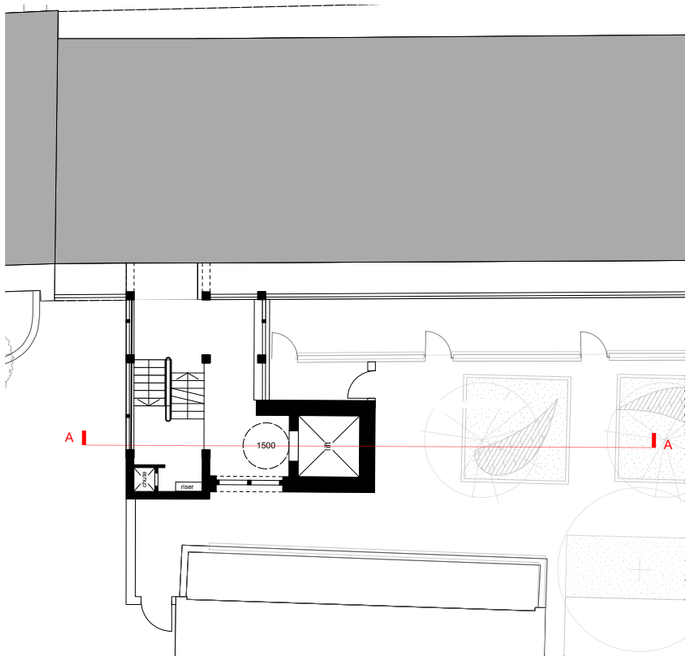
KEY



EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

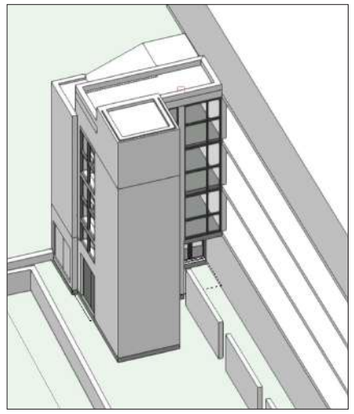


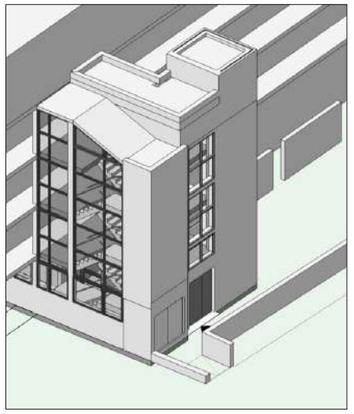
PROPOSED TYPICAL FLOOR PLAN

7.8 PROPOSED DEVONSHIRE LIFT

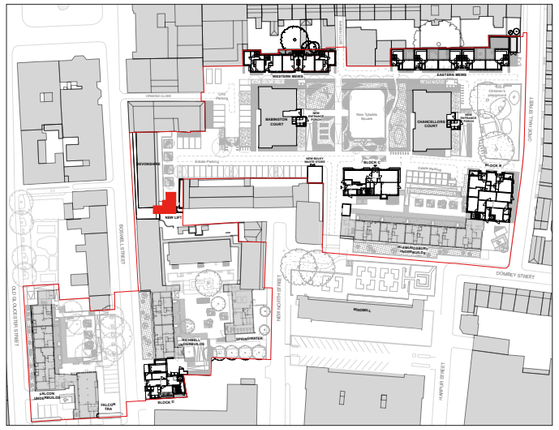
DEVONSHIRE LIFT ELEVATIONS

As the new Devonshire court lift is a direct extrusion of the existing core, the materials proposed will resemble the colour and appearance of those used on the existing building.





Devonshire lift view from 3D model



KEY

EAST ELEVATION

SOUTH ELEVATION

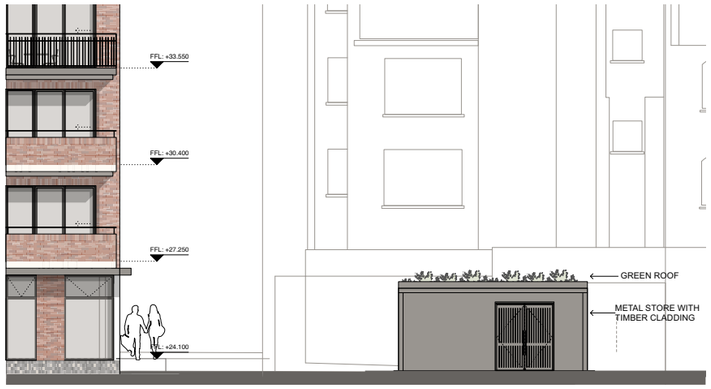
NORTH ELEVATION

7.9 PROPOSED BULK REFUSE

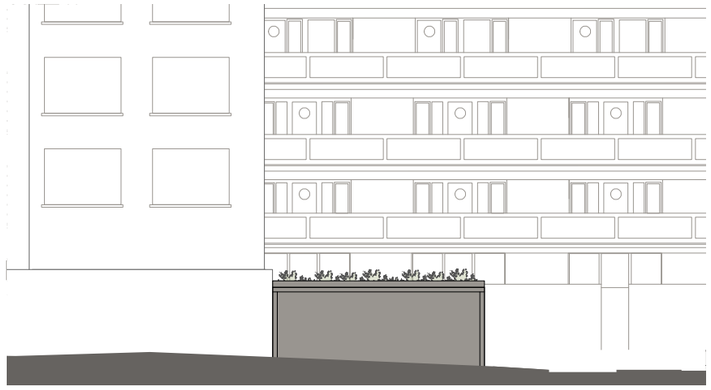
BULK REFUSE STORE

A new bulky refuse store is being proposed and will be constructed as per the metroSTOR product, a secured-by-design store in steel construction then clad in non-combustible and fire protected colour coated steel.

The steel cladding allows the refuse store to also be a simple and elegant addition to the masterplan, with a green roof for added biodiveristy.

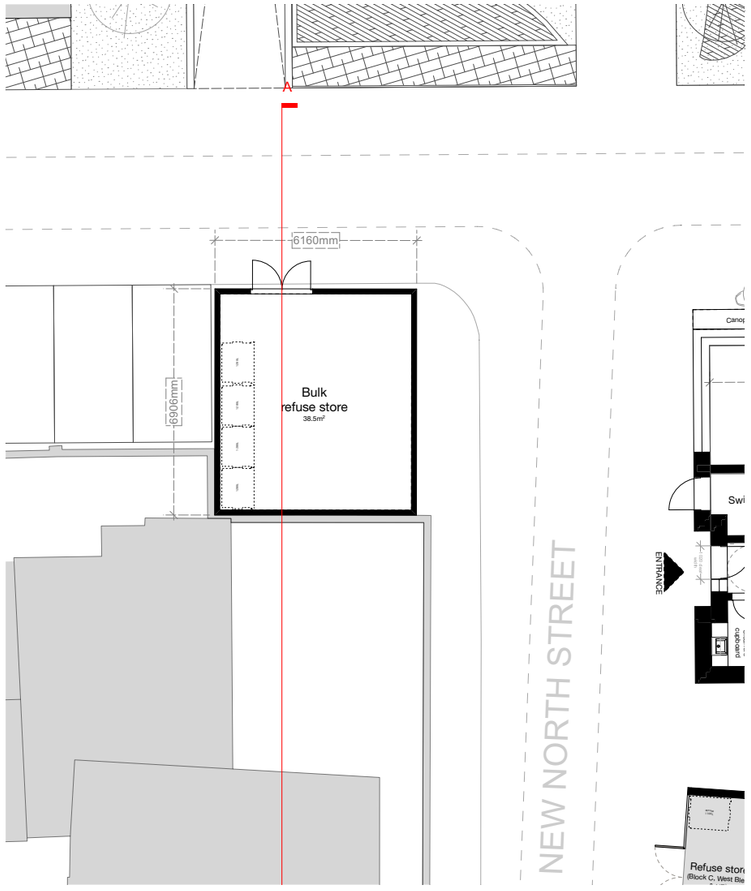


NORTH ELEVATION

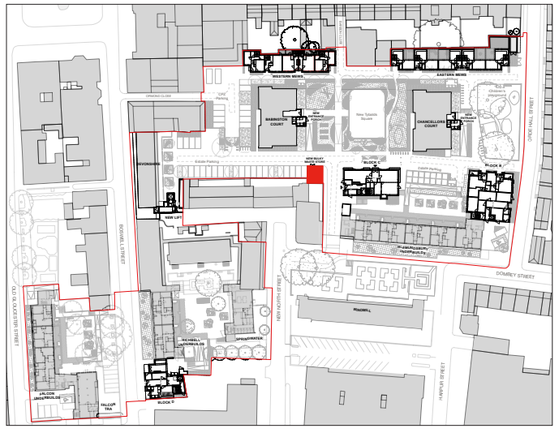


EAST ELEVATION

WEST ELEVATION



GROUND FLOOR PLAN



KEY

metroSTOR®
outdoor storage systems

Firenze Anthracite Grey FR

- 1.2mm Colour Coated Steel
- Anthracite Grey Greencoat Pural BT
- Non-Combustible Fire Protection Board Liner
- Concealed Rivet Fixings
- Mild Steel Welded Frame
- Hot-Dip Galvanised / Colour Powder Coated

Design Flexibility
5no. standard module widths with a wide range of configuration options create 65no. pre-engineered unit footprints.

CAD Design Enabled
All metroSTOR H Series models are available for download as CAD blocks and BIM objects with NBS Specifications.

CE Marked Structure
UK engineered and manufactured in accordance with Streetspace BS EN 1090, ISO9001:2008,ISO14001 accredited processes.

Heavy Duty Components
Fully welded, all steel frame manufacture with exhaustive testing of components for harsh urban environments.

Fire Safety
Fire Retardant cladding options for BS EN 13501 / BS476 Compliance where 6m building clearance cannot be achieved.

Customisable Finishes
metroSTOR H Series frame is Hot-Dip Galvanised to BS EN 1461 as standard with PPC Coloured options over pre-galvanised base.

Increased Biodiversity
metroSTOR H Series can be specified with integral engineered greenroof option, creating valuable pockets of biodiversity.

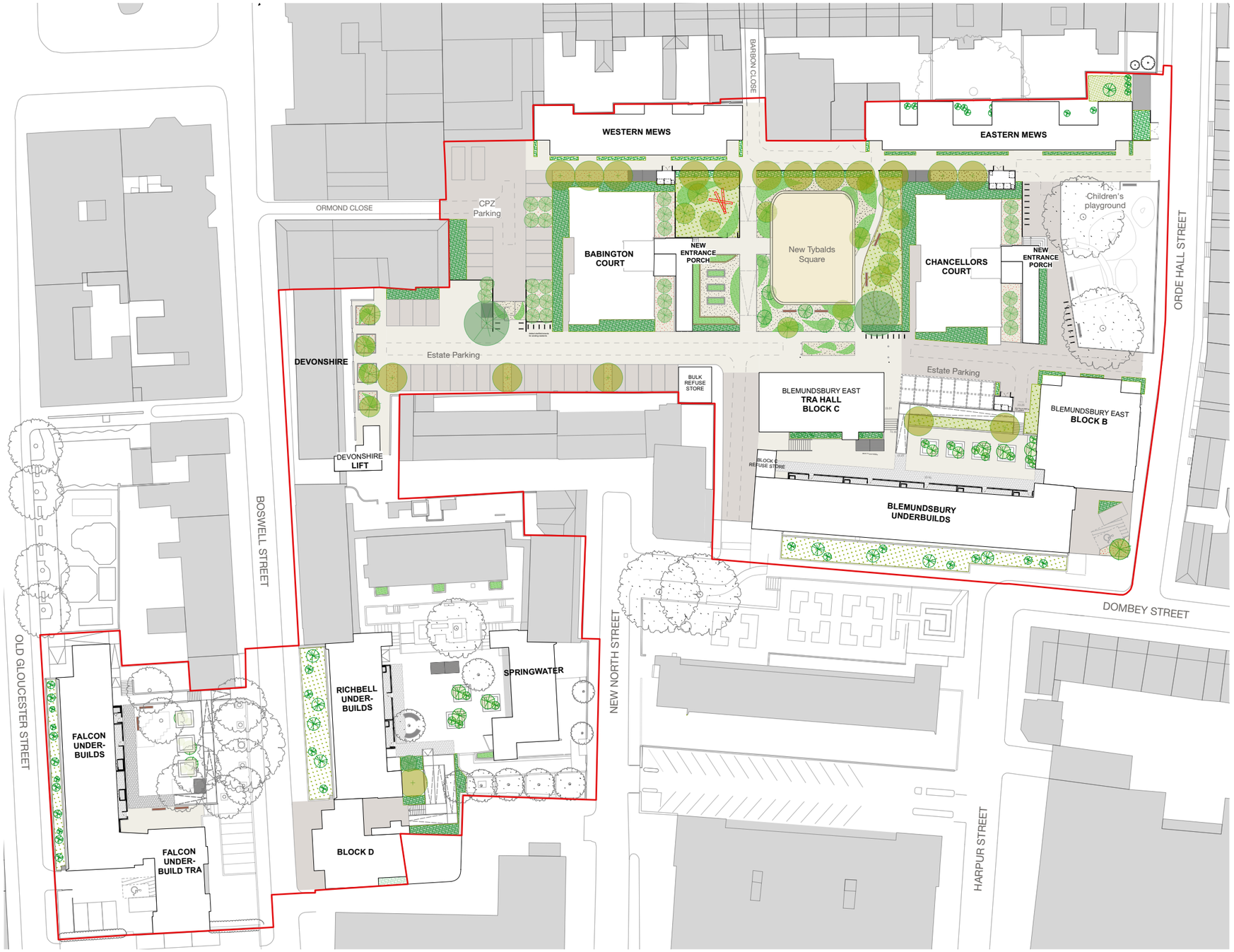
8 PROPOSED LANDSCAPE & PUBLIC REALM

8.0 LANDSCAPE & PUBLIC REALM APPROACH

INTRODUCTION

The landscape and public realm has played a very important role in this project.
As most of the buildings proposed are infill blocks here on Tybalds Estate, the public realm, through its careful design and attention to detail has made it possible to link the existing and proposed in an elegant manner, unifying the estate.

Refer to the separate document **'Landscape Design and Access Statement'** by Matthew Lloyd Architects and Lush Landscapes.



9 DETAILED DESIGN

9.1 PROPOSED MATERIALITY

COLOURS & TEXTURES

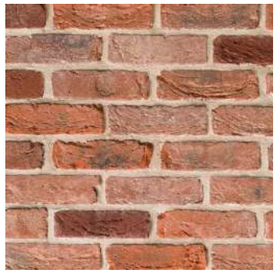
Tybalds Estate is characterised by strong brick colours broken up by light metal cladding on most of the blocks' extremities and exposed concrete frames. The main brick colours within the estate and its surroundings are predominantly red brick and London stock or buff bricks. Due to the variation of colour used throughout, the proposed buildings also take this on board.

Blocks B and C follow the red brick route, described here as Type 1, due to their close proximity to Blemundsbury, with the intention of having these three blocks forming a unit.
The strong red brick colour of the building will be contrasted with white glazed brick horizontal banding, simulating the concrete slabs that wrap around the façades of the existing buildings. As mentioned in previous sections, the entrances to these blocks are emphasised by an alternating red and glazed white brick pattern.

To seemingly elongate the buildings against the much taller Blemundsbury, all the windows are also combined with recessed brickwork panels under them. These will be a buff brick, tone grey as seen in other neighbouring buildings on Orde Hall Street. The recessed entrances to the blocks will also be surrounded by white glazed bricks to create a light and inviting environment.

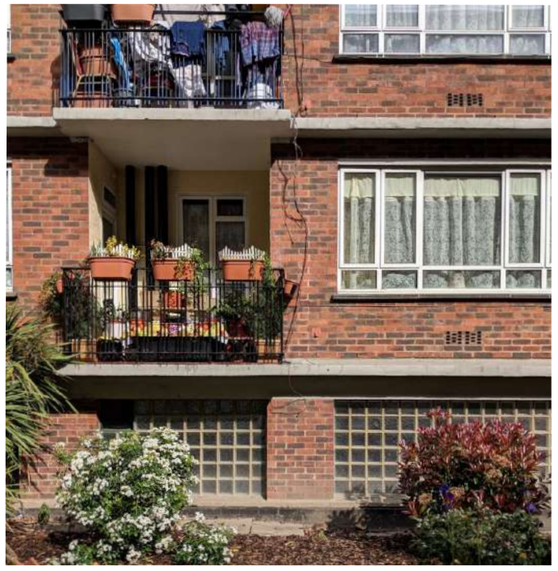
Proposed grey buff brick

Proposed red brick mix



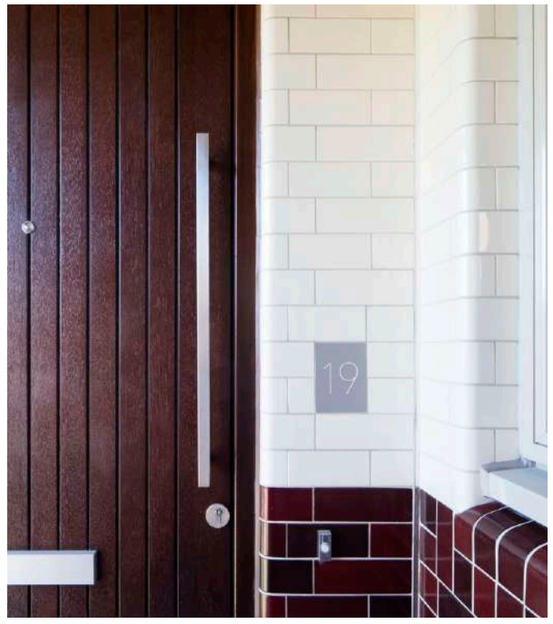
Proposed metalwork colour

Proposed white glazed brick



Blemundsbury Facade Photograph

Orde Hall Street Facade Photograph



Precedent - Bourne Estate

Block C North elevation bay

Block B North elevation bay

9.1 PROPOSED MATERIALITY

COLOURS & TEXTURES

The Eastern and Western Mews, together with Block D and the new Tower entrances will be designed following as Type 2 of light buff bricks. This is to soften their impact on their tight individual sites, giving a light and fresh addition to the estate.

In Block D the white glazed brick horizontal banding, simulating the concrete slabs that wrap around the façades of the existing buildings will also be introduced here due to the height of the building. Dark grey brick will be introduced around the entrance to the block similarly to the other blocks.

To add a unique feel to the mews houses, their recessed entrances are surrounded in white glazed bricks, illuminating the entrance point.

Finally, to tie all the newly proposed buildings, all the windows are also combined with recessed light grey buff brickwork panels under them.

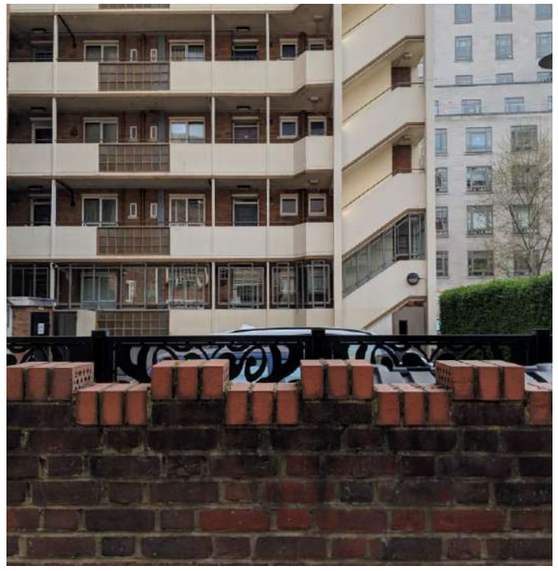
Proposed grey buff brick

Proposed beige brick mix

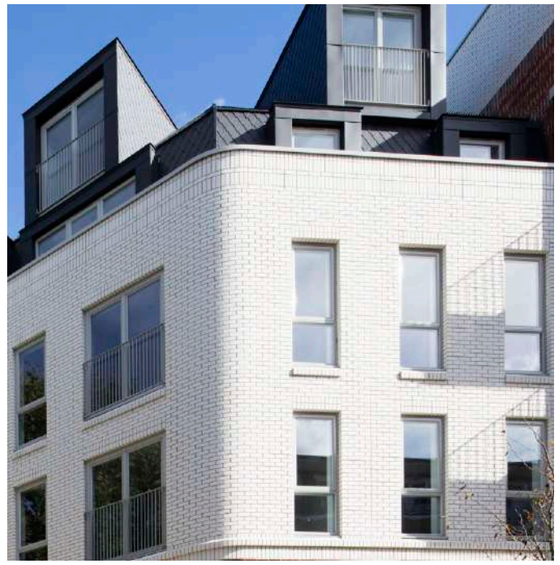
Proposed green glazed bricks

Proposed white glazed brick

Chancellors Facade Photograph



Falcon Facade Detail Photograph



Precedent - Bourne Estate

Mews elevation bay

Block D elevation

9.2 PROPOSED DETAIL DESIGN

BRICKWORK DETAILS & BONDING

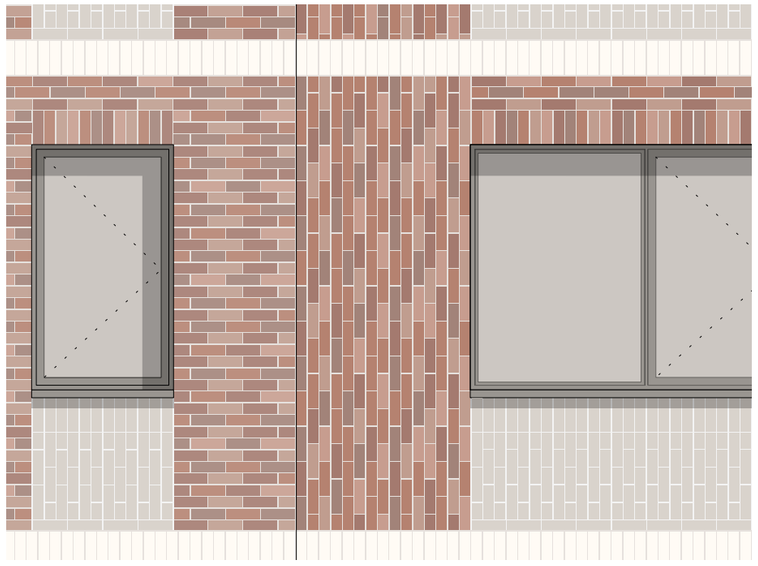
The simple brickwork patterns and layout across the proposed blocks form one architecture style that ties all the buildings together, whilst also using elements that respond and are unique to each block's individual site.

The Mews houses for example, are characterized by the light buff brick as described previously, but have moments of detail that add to their sense of place. On the ground floor, there are some bays of alternating recessed brick patterns, similar to that of the proposed blocks' communal entrance sequence. These do not follow the same rationale due to the difference of scale. The mews houses also have recessed brickwork panels in response to their proximity with Chancellors and Babington courts, serving as blind windows.

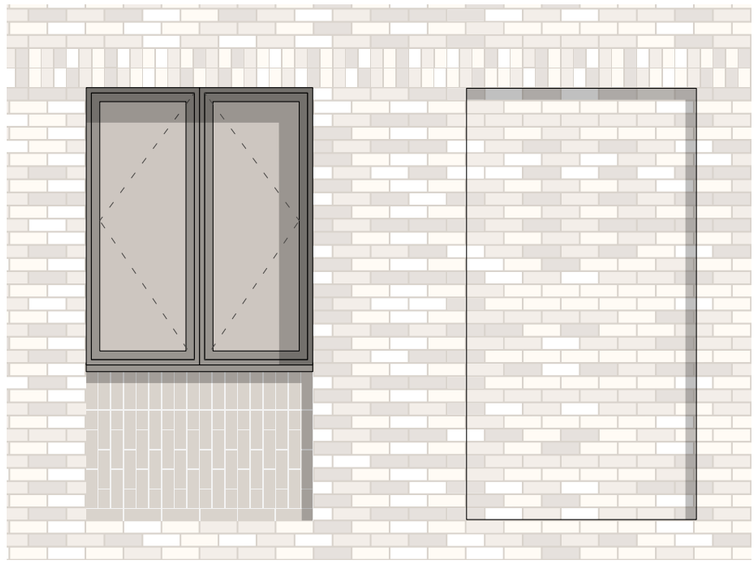
Blocks B and C follow the same red brick detailing with dark grey base brickwork and white glazed bricks for horizontal banding and entrance marker brick pattern.
Block B' east facade however, looking onto Orde Hall Street, is subtly more complex due to its in-out nature, with vertically stacked bricks on the main pavilion-like face.

Mews houses recessed brickwork pattern

Entrance marker white glazed brickwork alternating pattern



Block B East facade playfulness



Mews houses recessed panels

9.3 PROPOSED SIGNAGE

SIGNAGE DETAILS

There are two types of signage around the estate, used to mark the name of the building block. The first is an old black plaque with gold lettering applied onto the brick walls, and the second is a green Camden Council plaque.

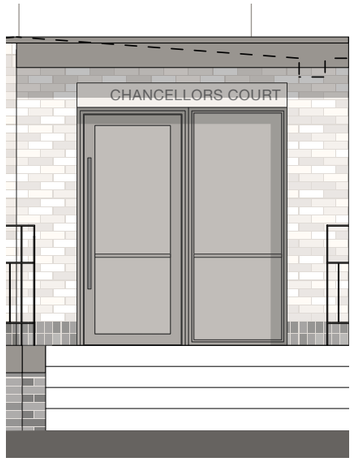
The proposed signage details are blue tiles with contemporary white lettering encased within the brickwork. This is a detail previously done on Bourne Estate by Matthew Lloyd Architects.

Every communal entrance door follows the same hierarchy of elements, starting from white glazed brick banding, followed by an aluminium canopy, and a concrete plate with name of the building. The door is then surrounded by brickwork pattern explained in the previous page.

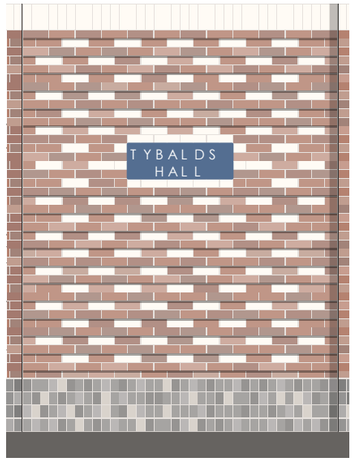
Individual entrances are either set back and surrounded by white glazed brickwork, or in the case of the two houses at the extremities of the Western and Eastern Mews houses. Here the doors sit flush but the aluminium canopy is introduced again.

The Mews houses also follow the blue tiles with house numbers encased within the brickwork, paired with an aluminium post box.

Existing estate plaque



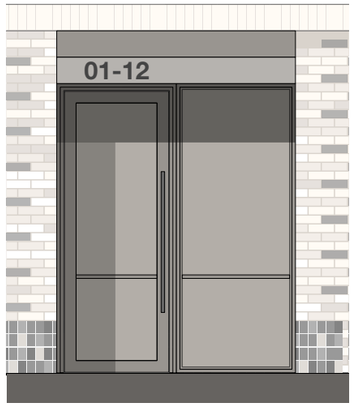
Tower entrances



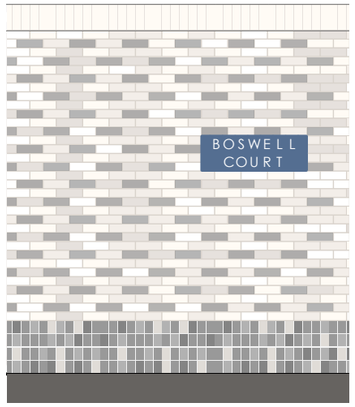
Block C entrance marker signage

Block C TRA entrance

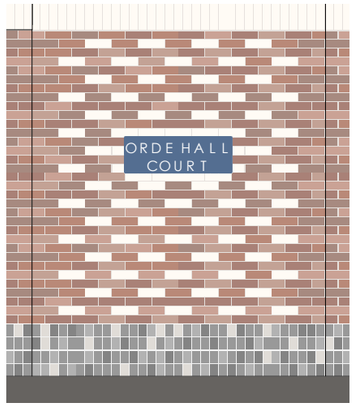
Existing Camden Council plaque



Block D main communal entrance



Block D entrance marker signage



Block B entrance marker signage

Precedent - Bourne Estate

Mews houses recessed entrances

Block B individual G. Floor entrance

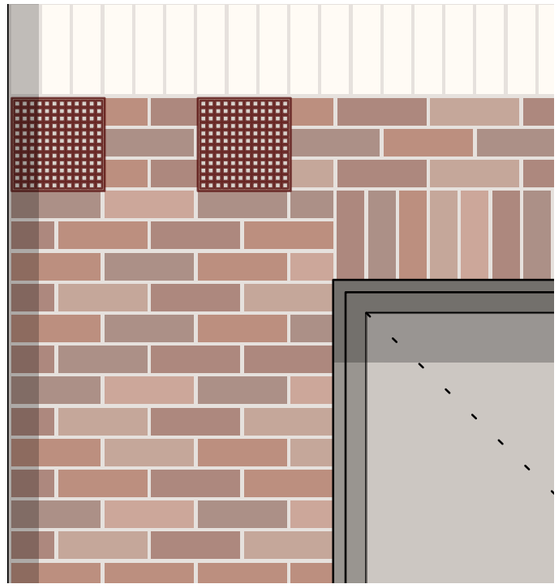
Mews houses flush entrances & canopy

9.4 ENERGY STRATEGY SUMMARY

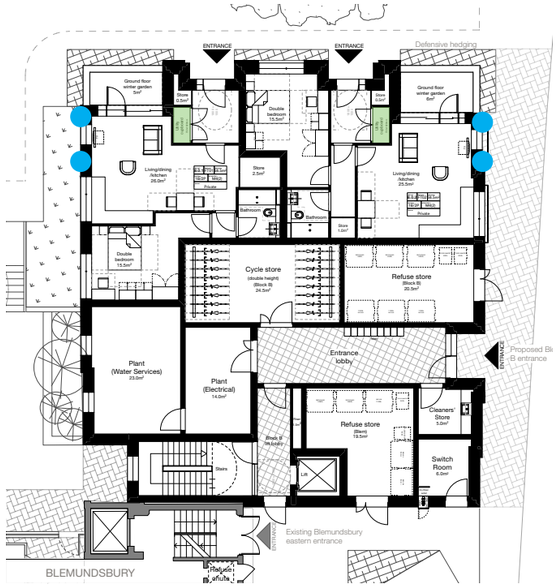
ENERGY STRATEGY

Tybalds Estate proposed energy strategy consists of air source heat pumps in each dwelling, stored in utility cupboards (highlighted in green on the plans). Air bricks will also be implemented, four of these per dwelling configured in two pairs and keeping at least 1.5m centre to centre of horizontal separation between them in order to prevent recirculation of vitiated air back in.

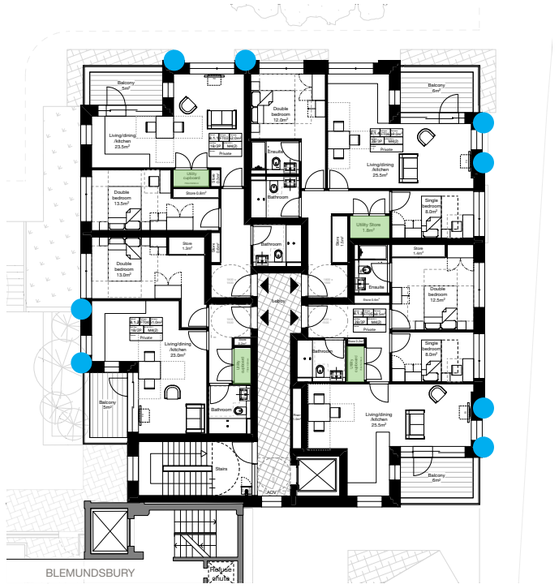
The whole strategy can be summarised within the following headings, taken from the MEP consultant's (TGA) Energy and Sustainability Statement:



Typical positioning of Max9 Air Brick in B and C façades



BLOCK B GROUND FLOOR PLAN



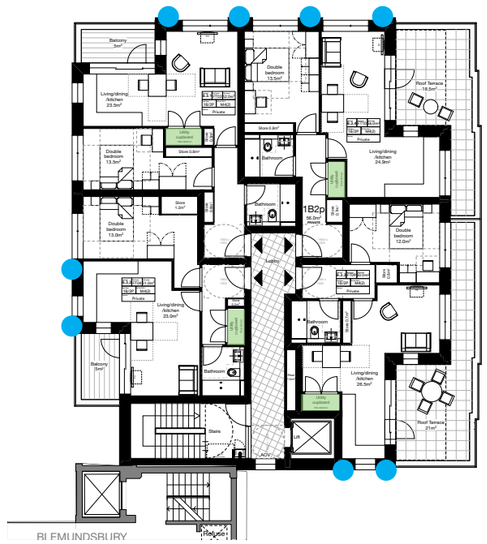
BLOCK B 1ST & 2ND FLOOR PLAN

Cast Iron Brick Company - Max9 Air Brick (225x225mm)

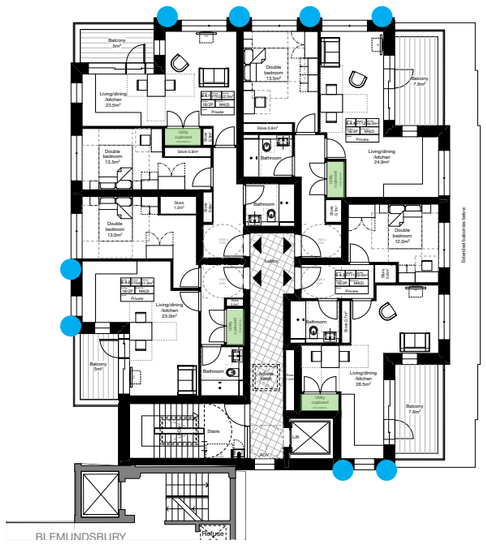
2x Air Brick location

Utility Cupboard

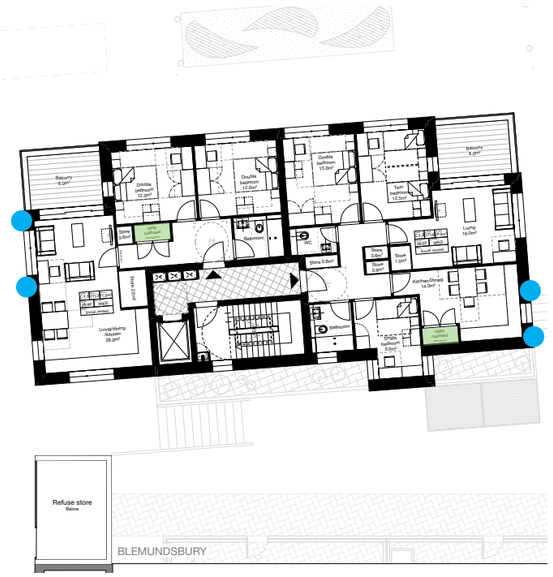
KEY



BLOCK B 3RD FLOOR PLAN



BLOCK B 4TH FLOOR PLAN



BLOCK C 1ST - 3RD FLOOR PLAN

Precedent - Bourne Estate

9.4 ENERGY STRATEGY SUMMARY

ENERGY STRATEGY

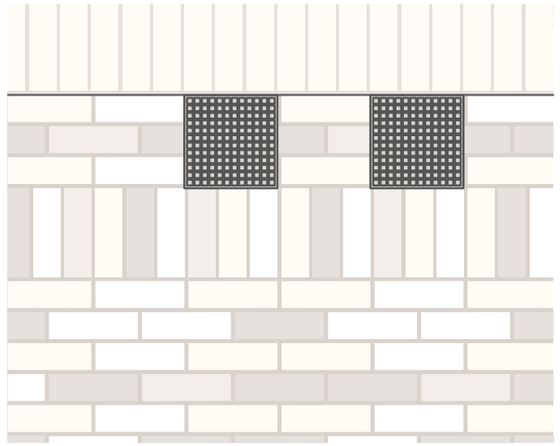
BE LEAN

The energy demand of the building has been reduced passively by maximising daylight whilst reducing solar gains, improving the building fabric, and reducing unwanted infiltration. Actively, the energy required to service the building has then been further reduced through the use of efficient lighting, heat recovery, efficient fans.

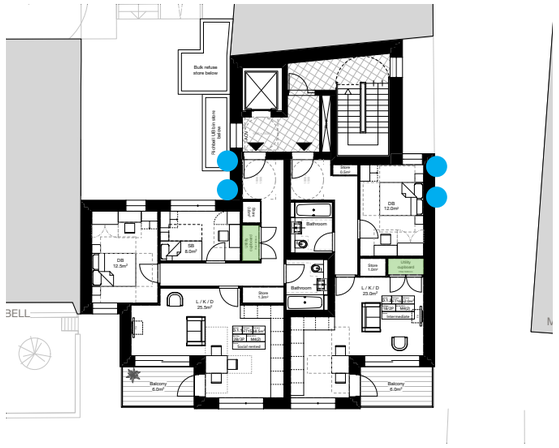
BE CLEAN

A highly efficient DHW system using air source heat pumps in each dwelling are installed to provide space DHW in residential spaces. Heating is server by electric underfloor and electric panel heaters. The TRA Halls in the commercial areas is to be served by an efficient VRF air source heat pump to provide conditioning. The kitchen and communal WC is to be served by electric panel heaters to provide space heating and electric water heater to provide DHW.

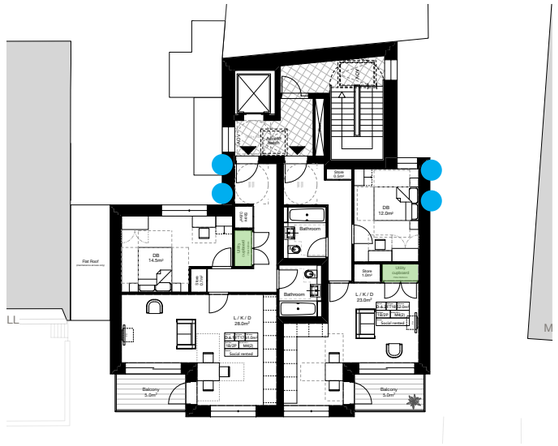
Please see TGA's Energy and Sustainability Statement for further details on the energy strategy.



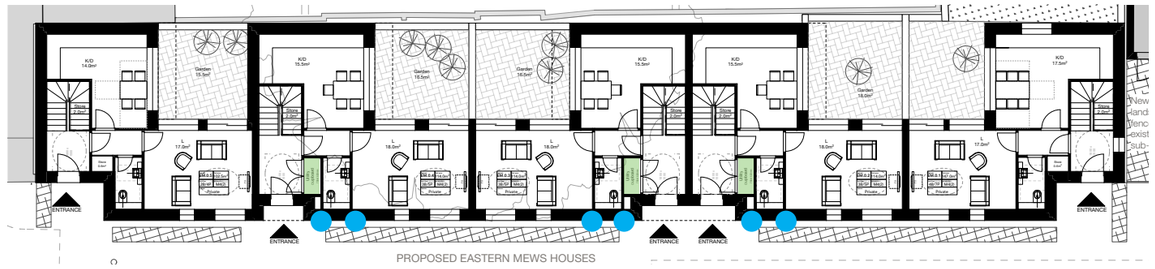
Typical positioning of Max9 Air Brick in D and Mews Houses



BLOCK D 1ST - 5TH FLOOR PLAN

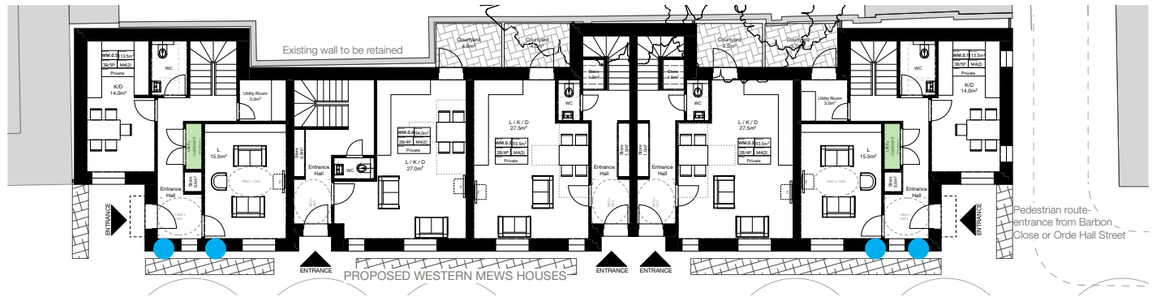


BLOCK D 6TH FLOOR PLAN

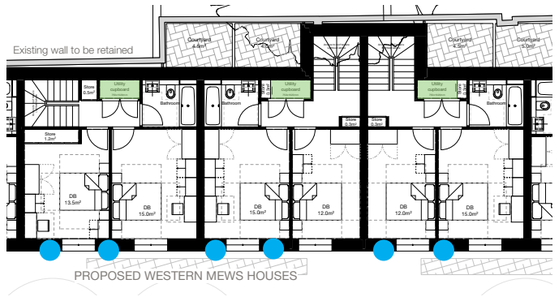


EASTERN MEWS GROUND FLOOR

EASTERN MEWS FIRST FLOOR



WESTERN MEWS GROUND FLOOR



WESTERN MEWS FIRST FLOOR

2x Air Brick location

Utility Cupboard

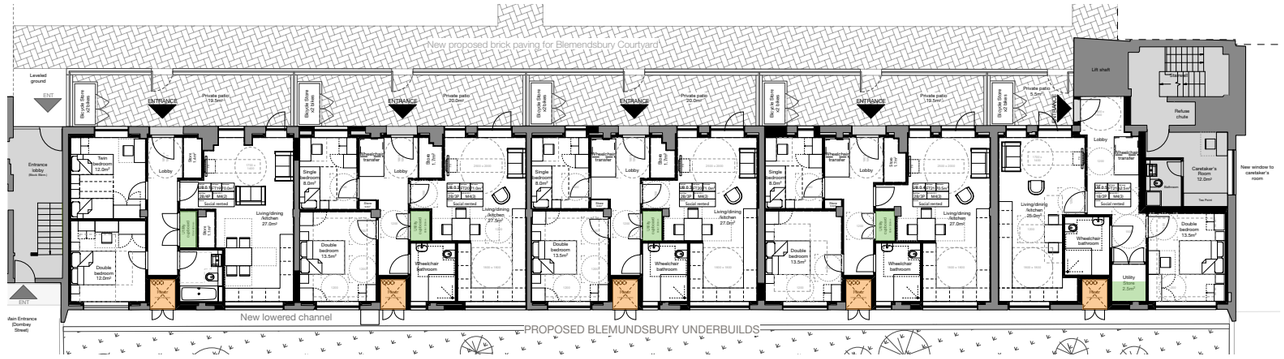
KEY

9.4 ENERGY STRATEGY SUMMARY

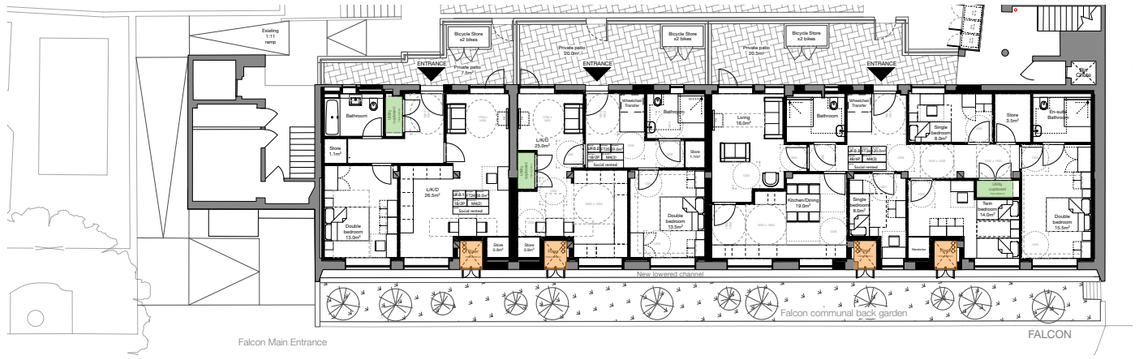
ENERGY STRATEGY

The underbuilds follow the same strategy but in addition, as mentioned in section 7.5 of this document, riser cupboards have been designed to fit into the units as the existing pipework will be re routed as part of the Better Homes works that Camden is undertaking across the Estate. These works do not form part of this planning application.

Please see TGA's Energy and Sustainability Statement for further details on the energy strategy.

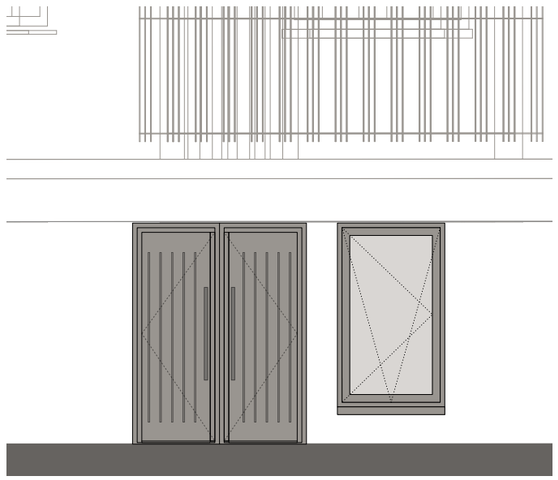


BLEMUNDSBURY UNDERBUILDS LOWER GROUND FLOOR



FALCON UNDERBUILDS LOWER GROUND FLOOR

RICHBELL UNDERBUILDS LOWER GROUND FLOOR



Typical Riser cupboard access doors in Underbuilds

Riser access Cupboard

2x Air Brick location

Utility Cupboard

KEY

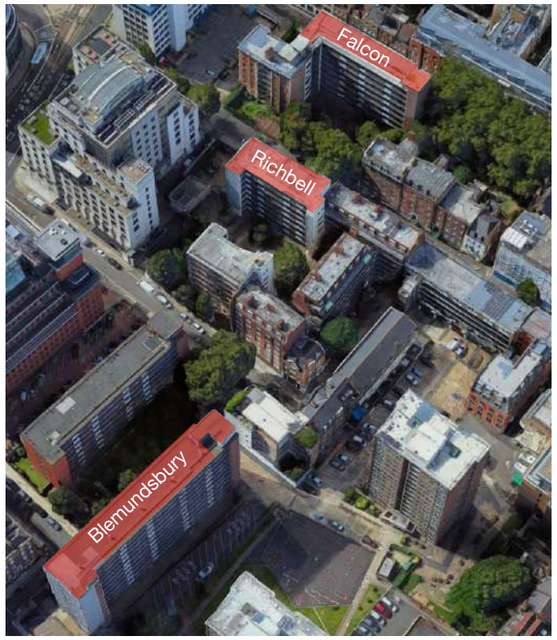
9.4 ENERGY STRATEGY SUMMARY

ENERGY STRATEGY - PV PANELS

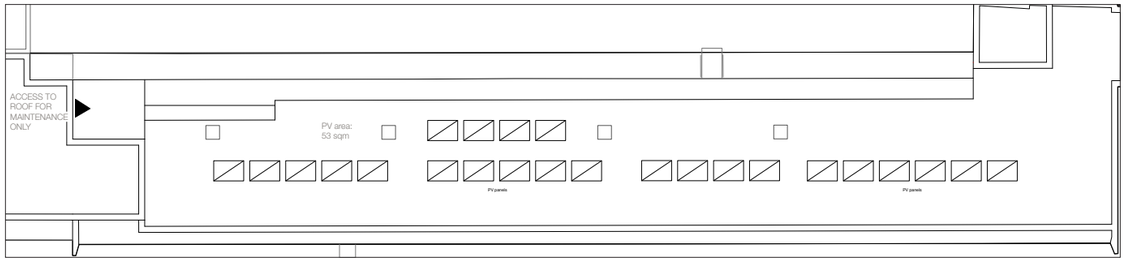
The last summary heading from the Energy Report is being addressed by introducing PV panels in the existing blocks in which the Underbuilds will be fitted out, namely Blemundsbury, Richbell and Falcon.

The report states:

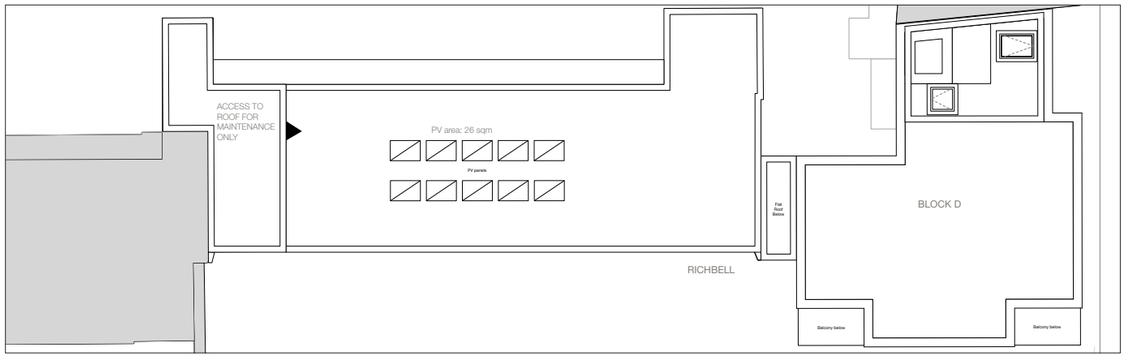
"BE GREEN
A PV array will provide a further 8% of the development's energy from Low or Zero Carbon sources, a total of 92%. Implementing Be Green measures of the development achieves a 38.1% improvement against Part L of the Building Regulations."



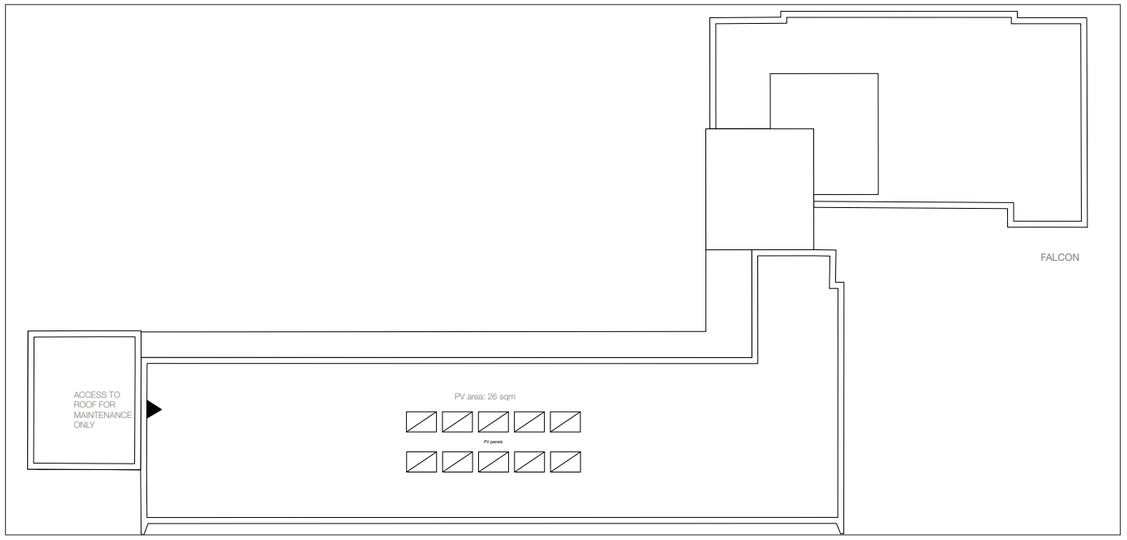
Existing Aerial View



BLEMUNDSBURY UNDERBUILDS LOWER GROUND FLOOR



RICHBELL UNDERBUILDS LOWER GROUND FLOOR



FALCON UNDERBUILDS LOWER GROUND FLOOR

10 ACCESSIBILITY

10.0 ACCESS TO BUILDING

ACCESSIBILITY

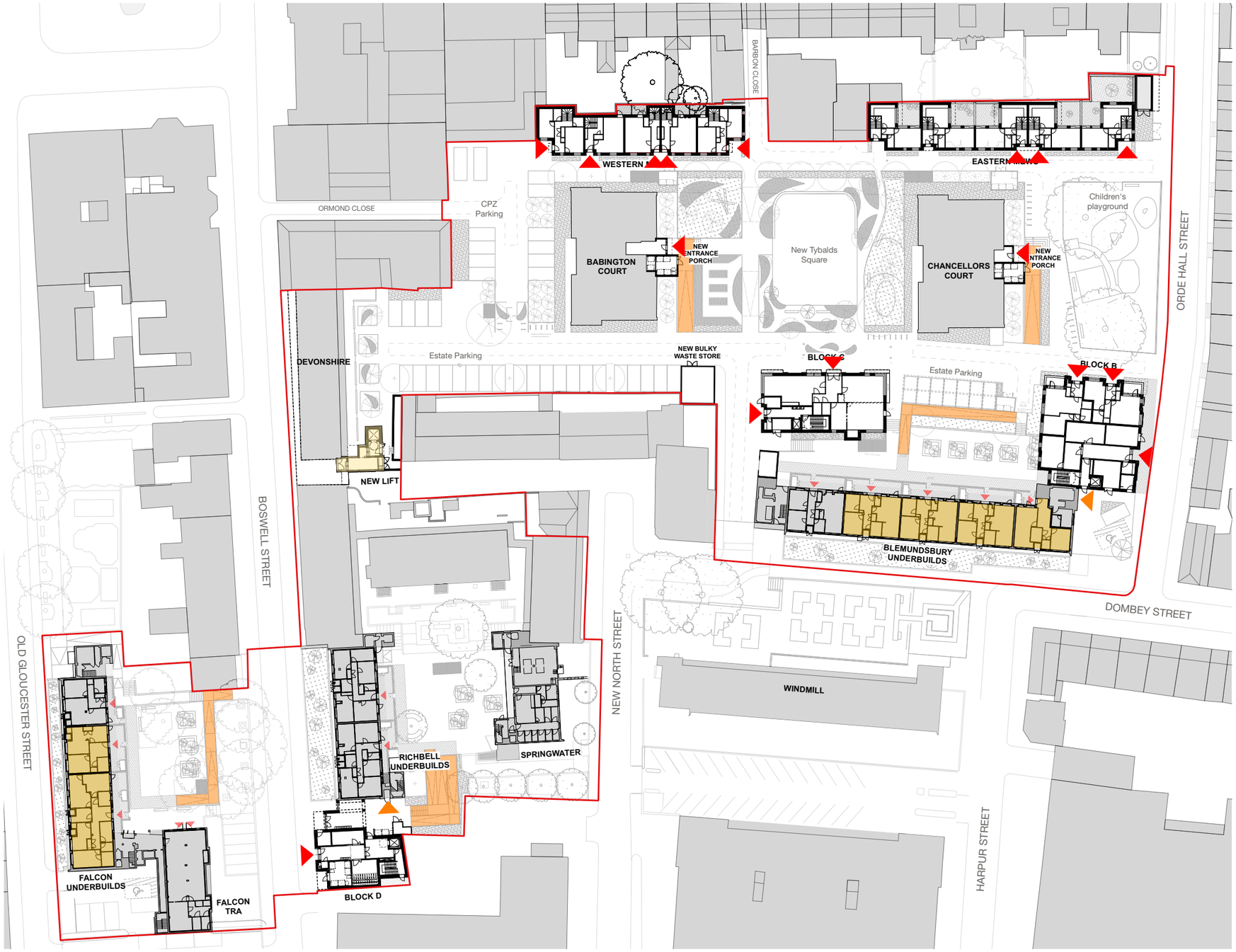
The existing Tybalds Estate is in most areas not accessible at all or not easily accessible to people who are in wheelchairs, people finding walking upstairs difficult, or indeed residents who have children in buggies, etc.

This is mainly because in most cases the original housing blocks do not have level access at ground floor, and are instead entered by steps half a storey above pavement level. However, even where there is level access provided by lifts, these are entered at basement level accessed by external ramps – which in themselves are often steeper than current regulations dictate – or by single steps adjacent to lifts.

This project, apart from creating brand new housing blocks that are fully accessible, seeks also to significantly improve disable access to the existing buildings (with the exception of Windmill Block which is not part of the proposed scheme).

- Wheelchair accessible units
- New accessible lift
- New accessible ramps
- Proposed new entrances
- Existing entrances

KEY



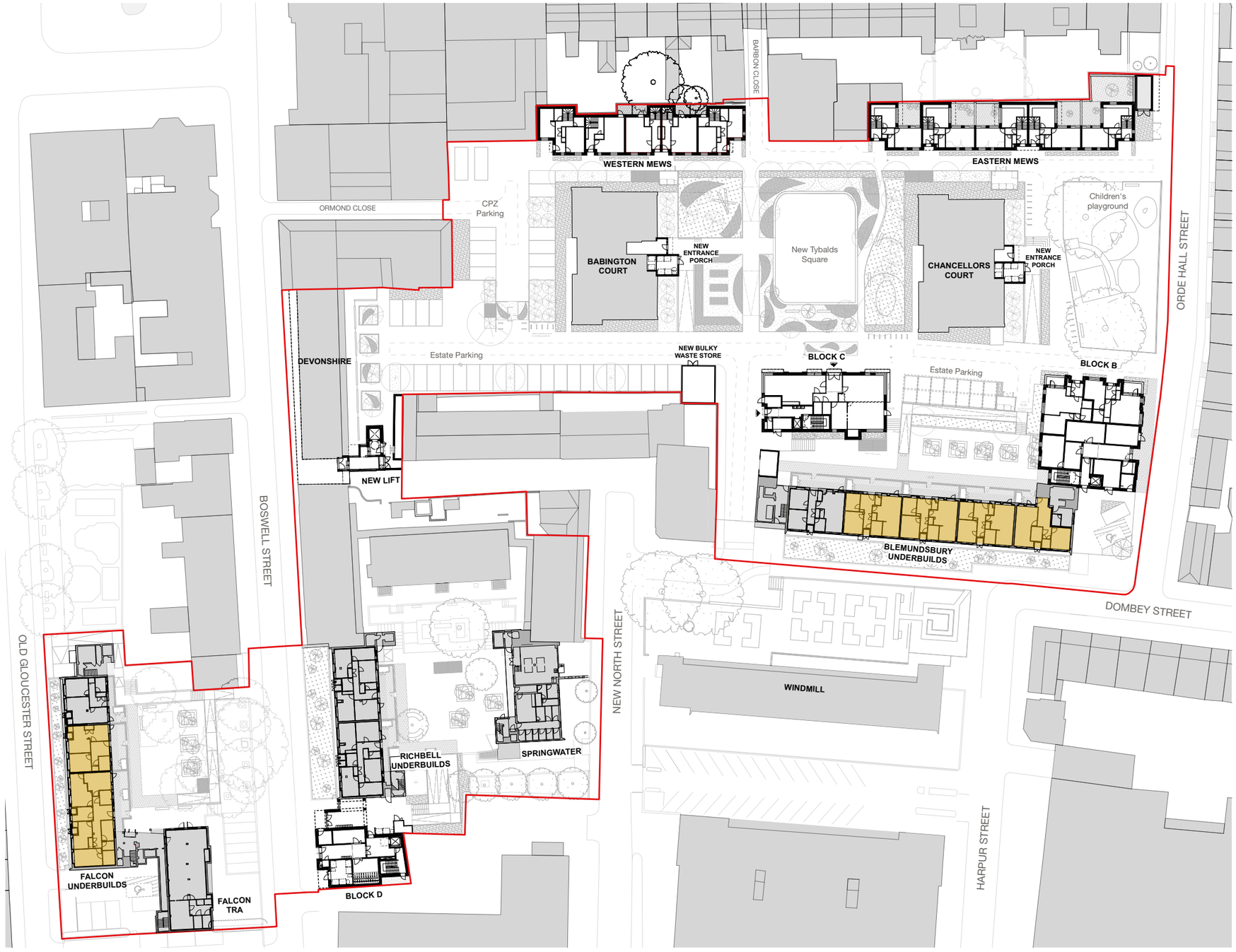
10.0 **ACCESS TO BUILDING**

WHEELCHAIR UNITS

Across Tybalds Estate, 6 new wheelchair accessible units are being proposed.
These are all located within the Underbuilds as follows:

- 3x 2B3P in Blemundsbury Underbuilds
- 1x 1B2P in Blemundsbury Underbuilds
- 1x 4B6P in Falcon Underbuilds
- 1x 1B2P in Falcon Underbuilds

All of these are compliant with Camden regulations and GLA standards and Building Regulations Part M4(3).

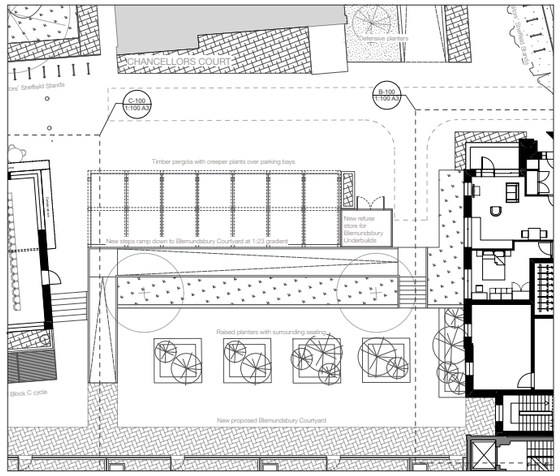


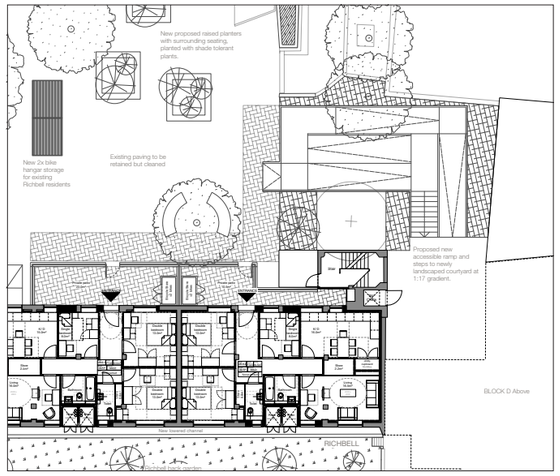
Wheelchair accessible units

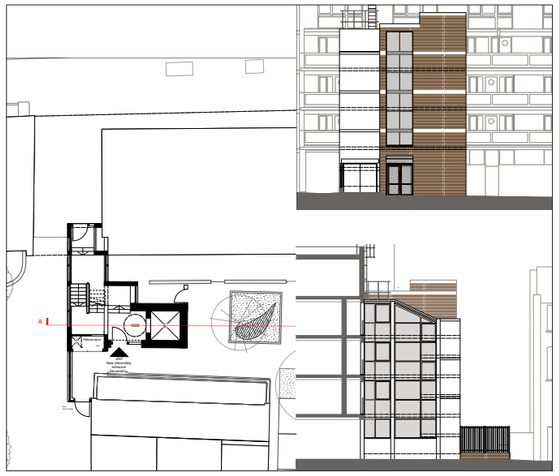
KEY

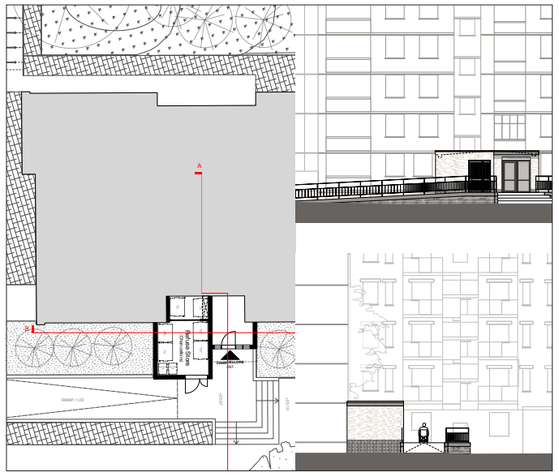
10.0 ACCESS TO BUILDING

IMPROVEMENTS









Blemundsbury:

A new compliant external ramp is created within the new public realm landscape (between new blocks B and C) to provide wheelchair access down Blemundsbury's lower courtyard.
New accessible surfaces are provided across the courtyard to the existing basement lift entrance at the same level as the lift doors. In this way wheelchair and buggy access is greatly improved and wheelchair access is provided also to the new four wheelchair accessible underbuild flats in Blemundsbury's basement.

Richbell and Falcon:

These two blocks of flats do have existing lifts that travel down to each basement courtyard levels (these buildings are not directly accessible from ground floor/pavement level). However both courtyards are only accessed by existing ramps that are too steep and not DDA compliant.
The scheme therefore provides new fully compliant external ramps down to their respective courtyards, with accessible and level ground surfaces taking residents directly to the lift doors and to wheelchair accessible underbuild units for Falcon.

Devonshire Court:

A completely new 8 person (wheelchair-sized) lift is added to this block within a new extension to the existing staircase here. This lift is accessed from a new entrance on the east side of the block, through a new secure pedestrian fobbed gate, and serves every floor of the building.
Once again this block has been entered only by stairs since its construction, so this new lift represents a complete transformation of accessibility here for all the blocks' residents.

Chancellors and Babington Courts:

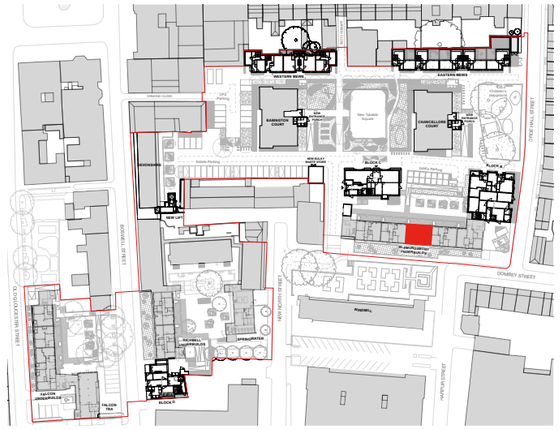
Brand new fully compliant ramps and entrance lobbies are created to each of these existing tower blocks, providing level access to the raised ground floors and lifts of these buildings for the first time since their construction in the 1960s.

10.1 **ACCESSIBLE FLATS**

BLEMUNDSBURY W/A UNITS

Blemundsbury Underbuilds houses 4 Wheelchair accessible units. Three of these are identical 2B3P units designed as per Building Regulations, GLA Standards and Camden guidelines.

They are accessed from the new proposed ramp which is situated between Blocks B and C, leading down to a newly landscaped courtyard with wheelchair accessible planters.



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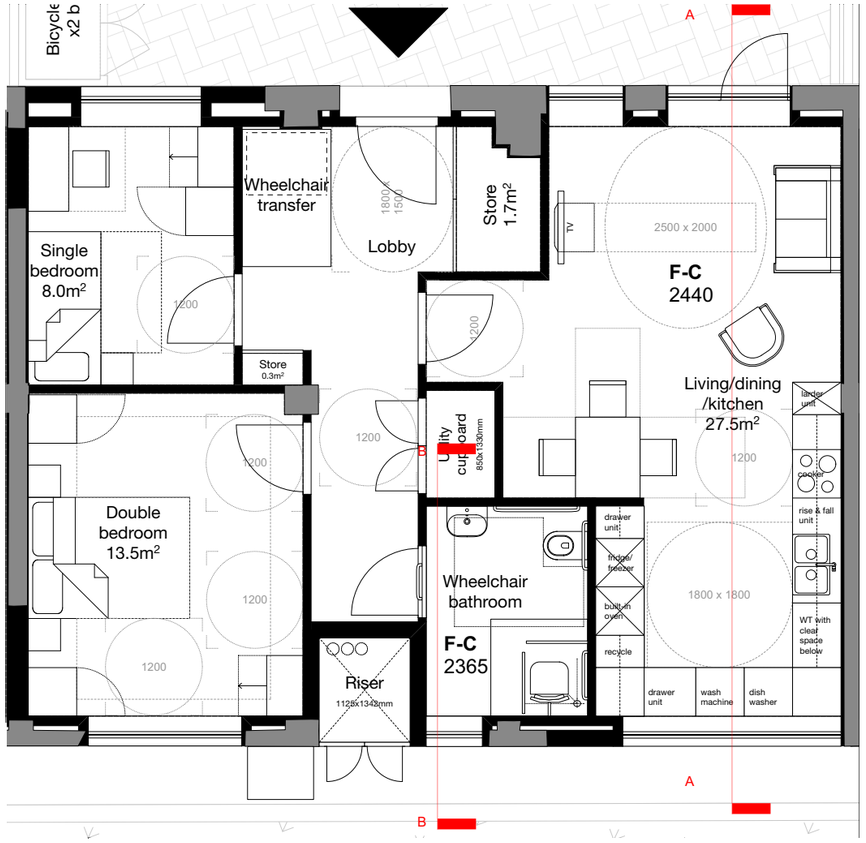
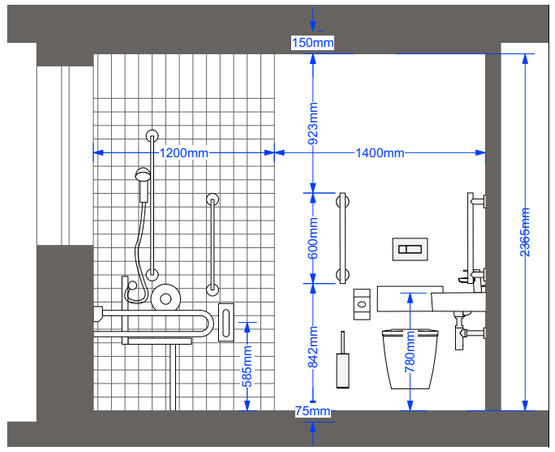
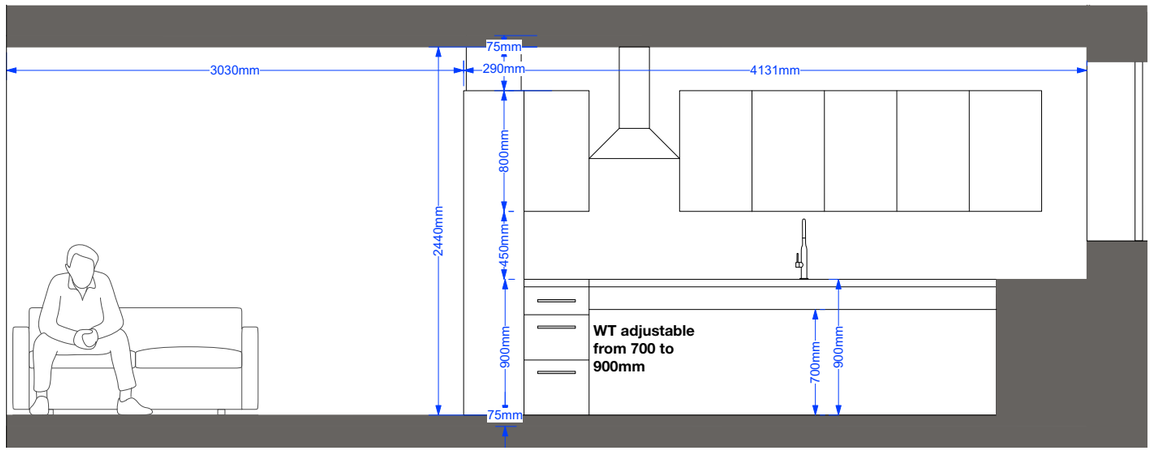


Typical 2B3P WA Floor Plan



Typical Section through Bathroom

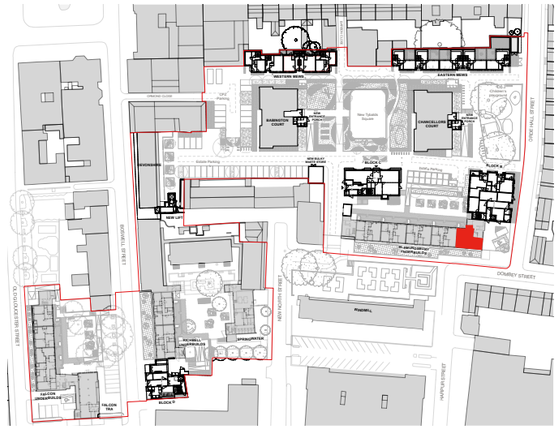


Typical Section through Kitchen & Living

10.1 ACCESSIBLE FLATS

BLEMUNDSBURY WHEELCHAIR ACCESSIBLE UNITS

Blemundsbury Underbuilds's other wheelchair accessible unit is a 1B2P.



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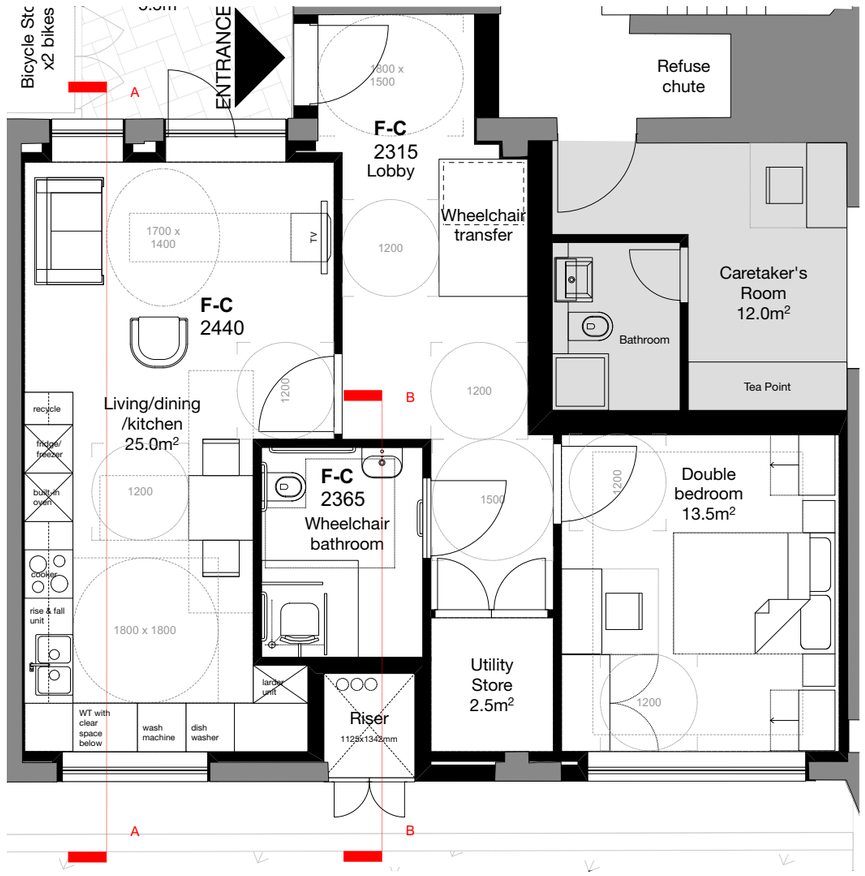
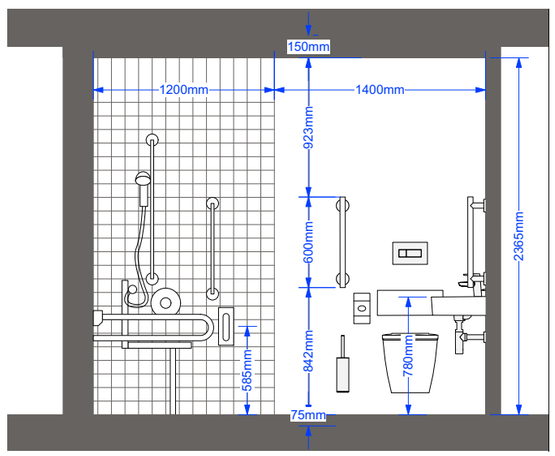
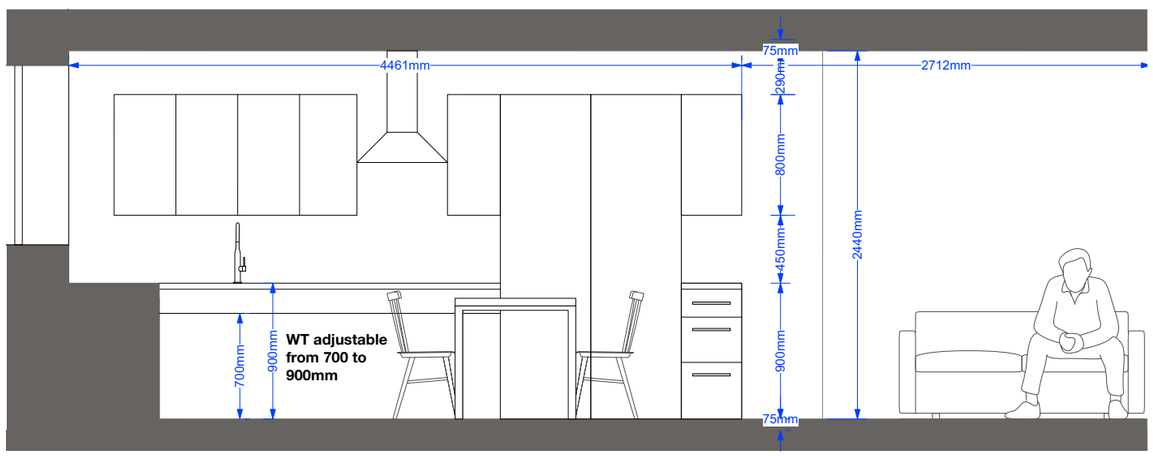


Blemundsbury 1B2P WA Floor Plan



Typical Section through Bathroom



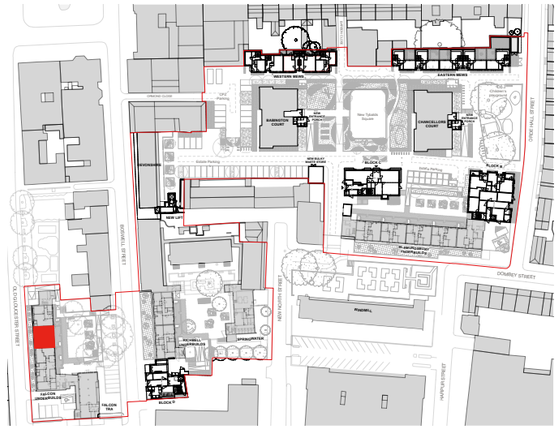
Typical Section through Kitchen & Living

10.1 **ACCESSIBLE FLATS**

FALCON WHEELCHAIR ACCESSIBLE UNITS

Falcon Underbuilds houses two wheelchair units, also accessed from the newly proposeld ramp that leads you down from Boswell Street to Falcon courtyard and underbuild flats.

One is a 1B2P unit and the other a 4B6P family unit.



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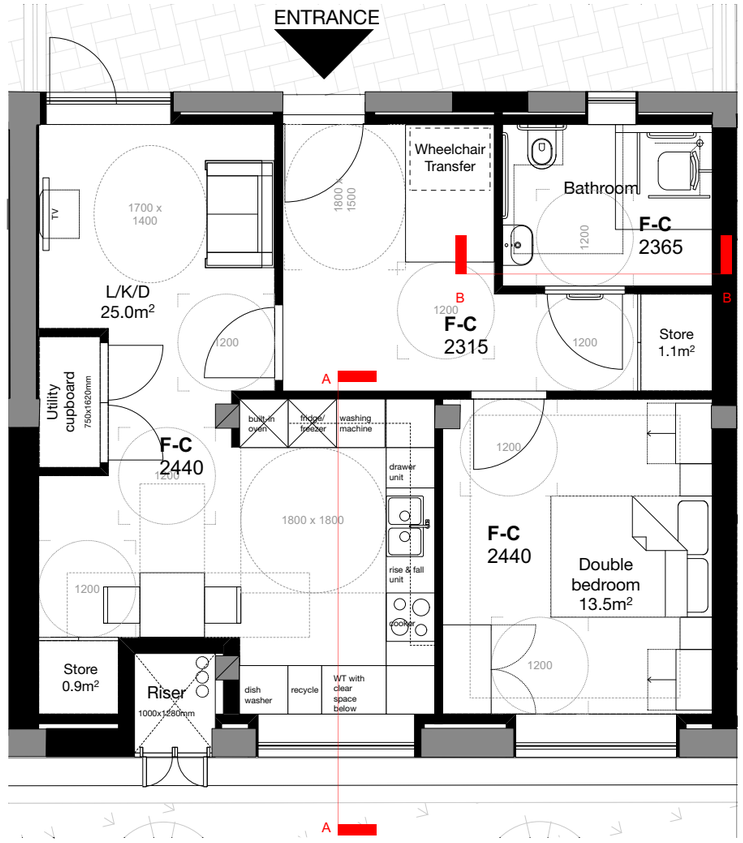
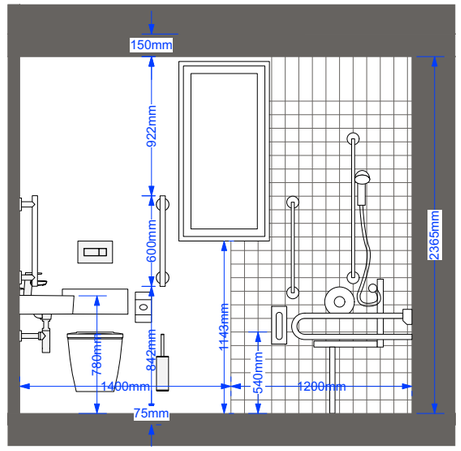
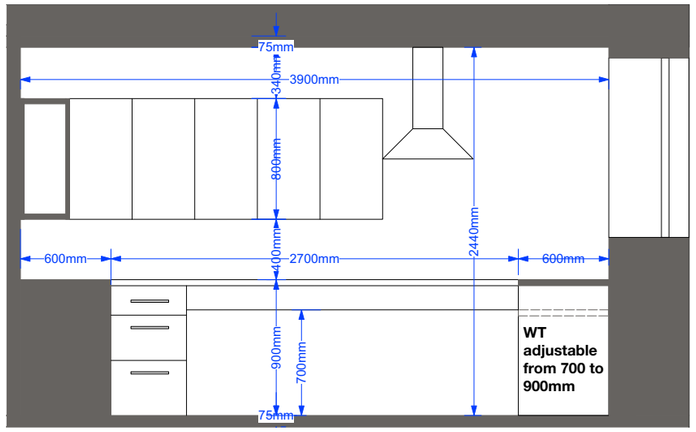


Falcon 1B2P WA Floor Plan



Typical Section through Bathroom

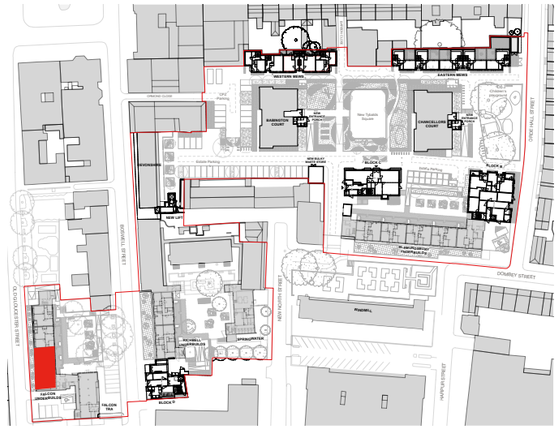


Typical Section through Kitchen & Living

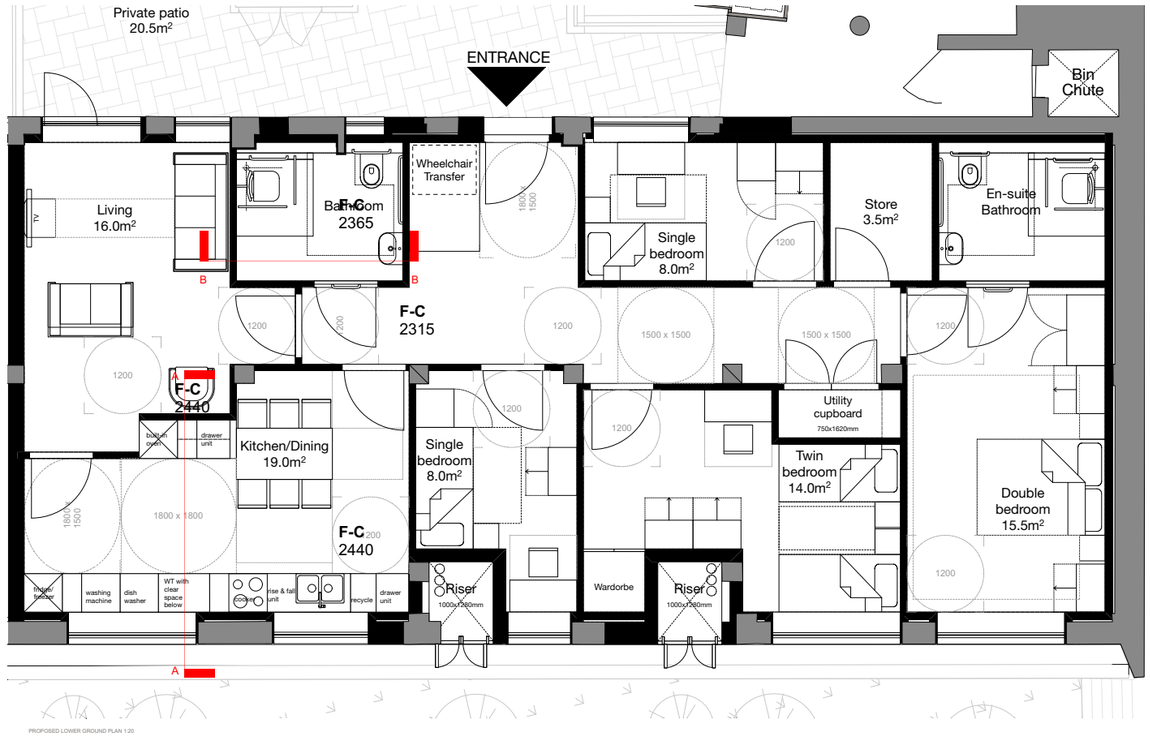
10.1 **ACCESSIBLE FLATS**

FALCON WHEELCHAIR ACCESSIBLE UNITS

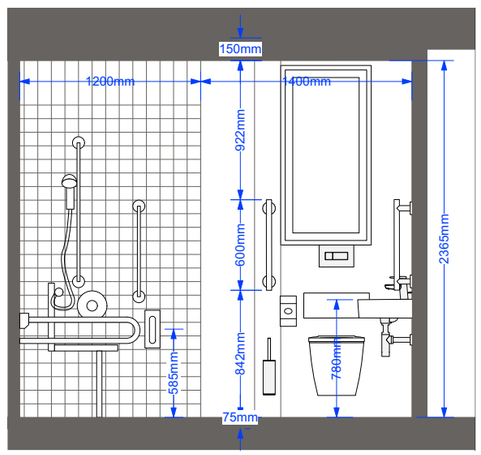
Falcon Underbuilds 4B6P wheelchair accessible family unit.



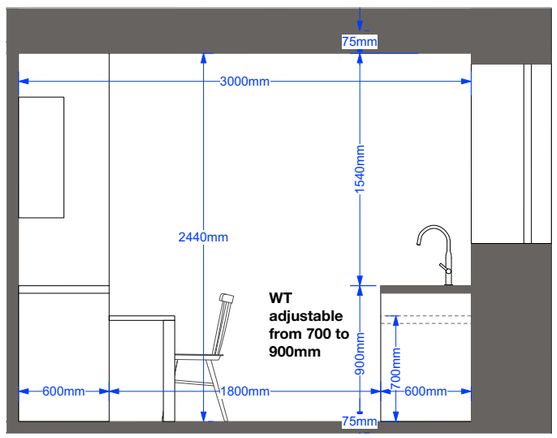
KEY



Falcon 4B6P WA Floor Plan



Typical Section through Bathroom



Typical Section through Kitchen & Living

10.2 CAR PARKING

PROPOSED VEHICULAR PARKING

No new vehicular parking is being proposed for the estate but the new masterplan, landscape and public realm means the existing conditions are being altered and the total quantum of parking will be reduced.

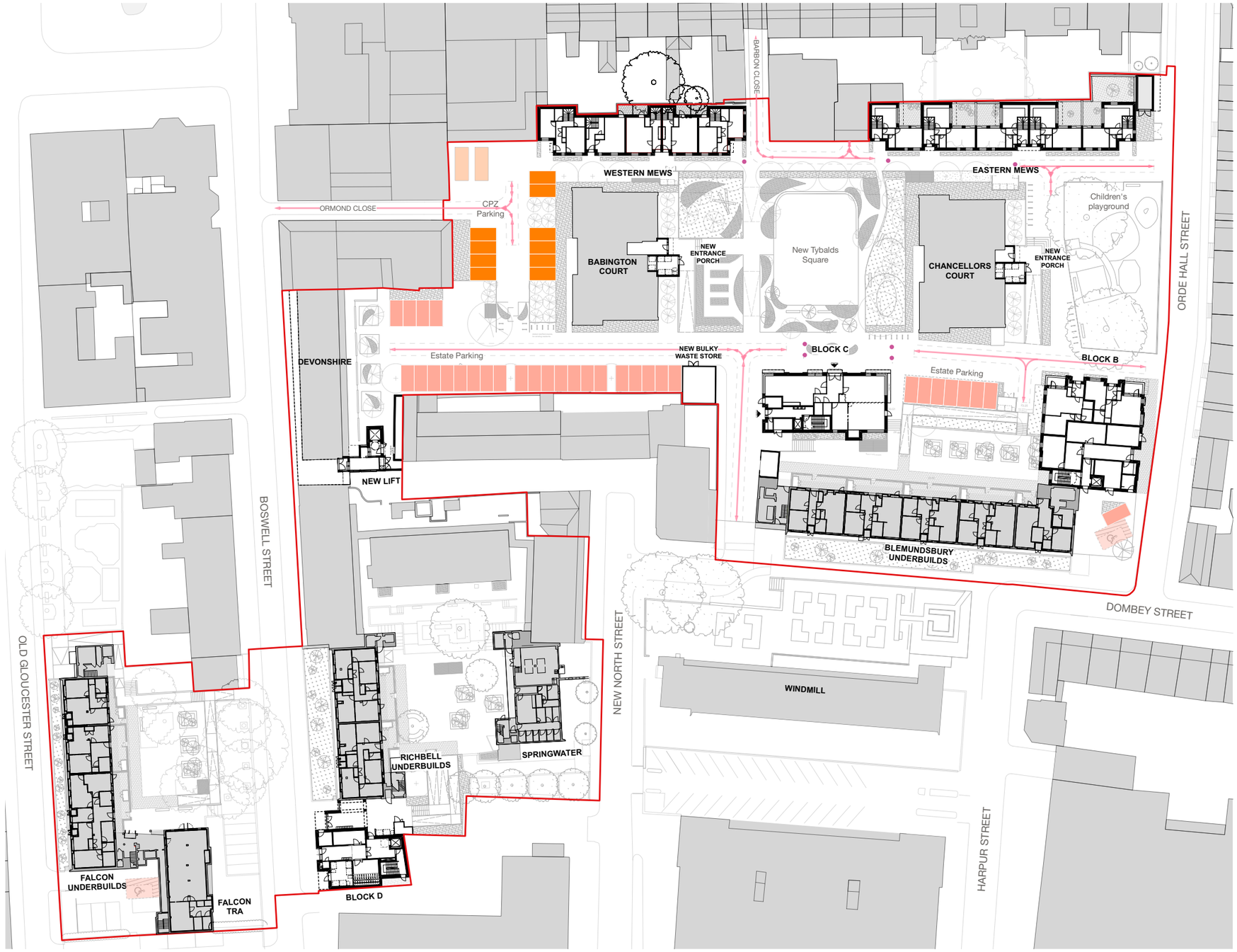
We are however maintaining the number of parking bays required for existing residents and relocating the CPZ spaces to Ormond Close, together with the GOSH ambulance spaces.
Bollards are being introduced as this will become a pedestrianised estate with no vehicular access apart from for servicing deliveries and parking for existing residents.

Out of the relocated parking bays, two of these will be converted to Blue Badge bays for wheelchair users- one adjacent to Blemundsbury, and one to the south of Falcon.

Please see Velocity's Transport Statement for further details on the parking alterations and strategy.

- 2x Ambulance Parking
- 10x CPZ parking relocated
- 33x Residents car parking relocated
- 2x Converted disabled bays
- Vehicle tracking
- Bollards

KEY



10.3 CYCLE STORAGE

PROPOSED CYCLE STORAGE

The proposed scheme includes:

- 33 Sheffield stands (66 bikes) for visitors/ Chancellors and Babington existing residents

- 1 hangar (6 bikes) for visitors/ Devonshire residents

- 2 hangars for Richbell/Boswell/Springwater existing residents (12 bikes)

- 1 hangar for Falcon existing residents (6 bikes)

Block B: Cycle store on ground floor accommodating 32 bikes

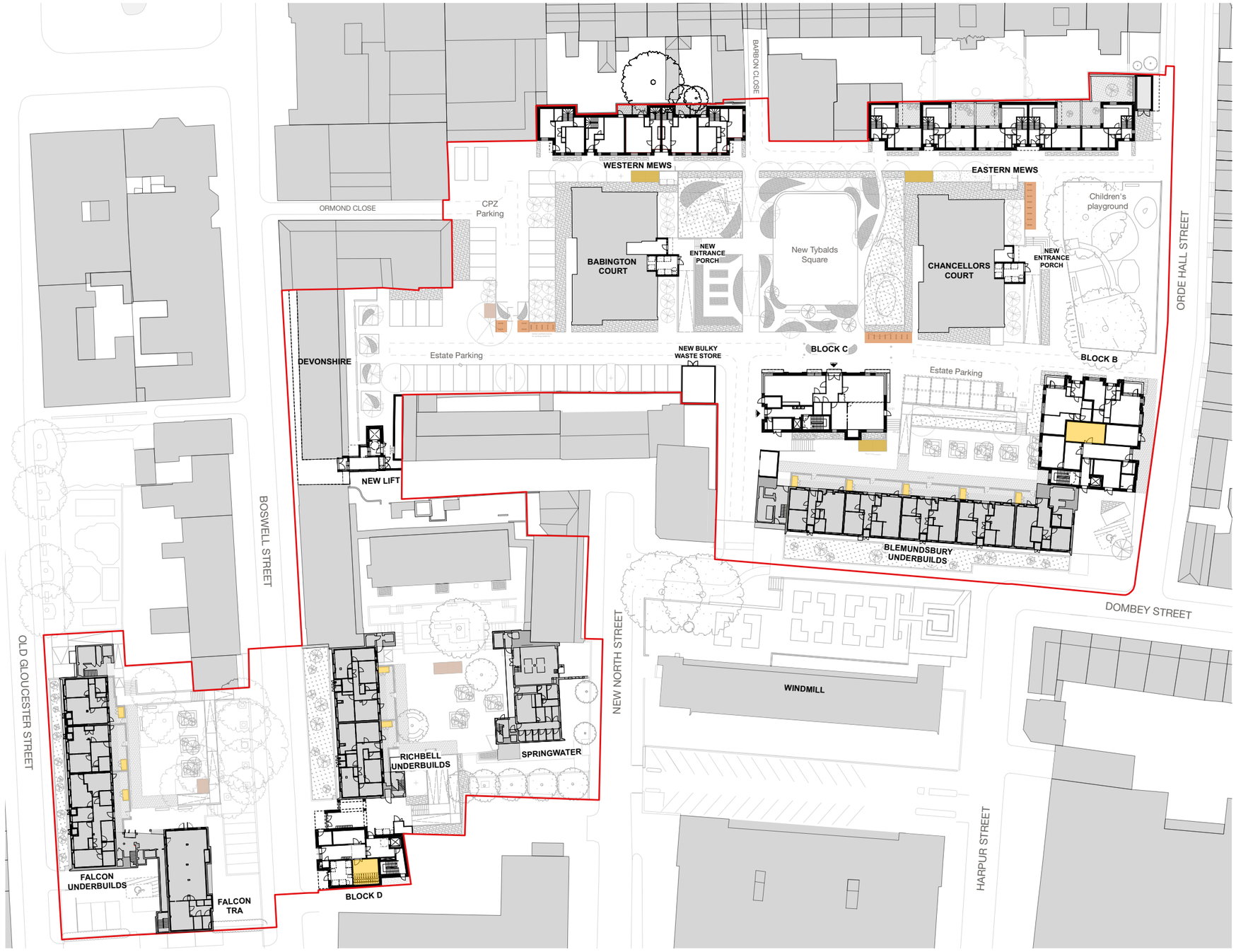
Block C: 2x bike hangars (Secured by Design holds 6 bikes each) located behind building

Block D: Cycle store on ground floor accommodating 22 bikes

Eastern and Western Mews: 4 hangars (24 bikes)

Underbuilds: Each flat has its own bike locker (Secured by Design holds 2 bikes each) in front patio

Please see Velocity's Transport Statement for further details on the parking alterations and strategy.



New residents' cycle stores

Existing residents' new cycle stores

Visitors sheffield stands

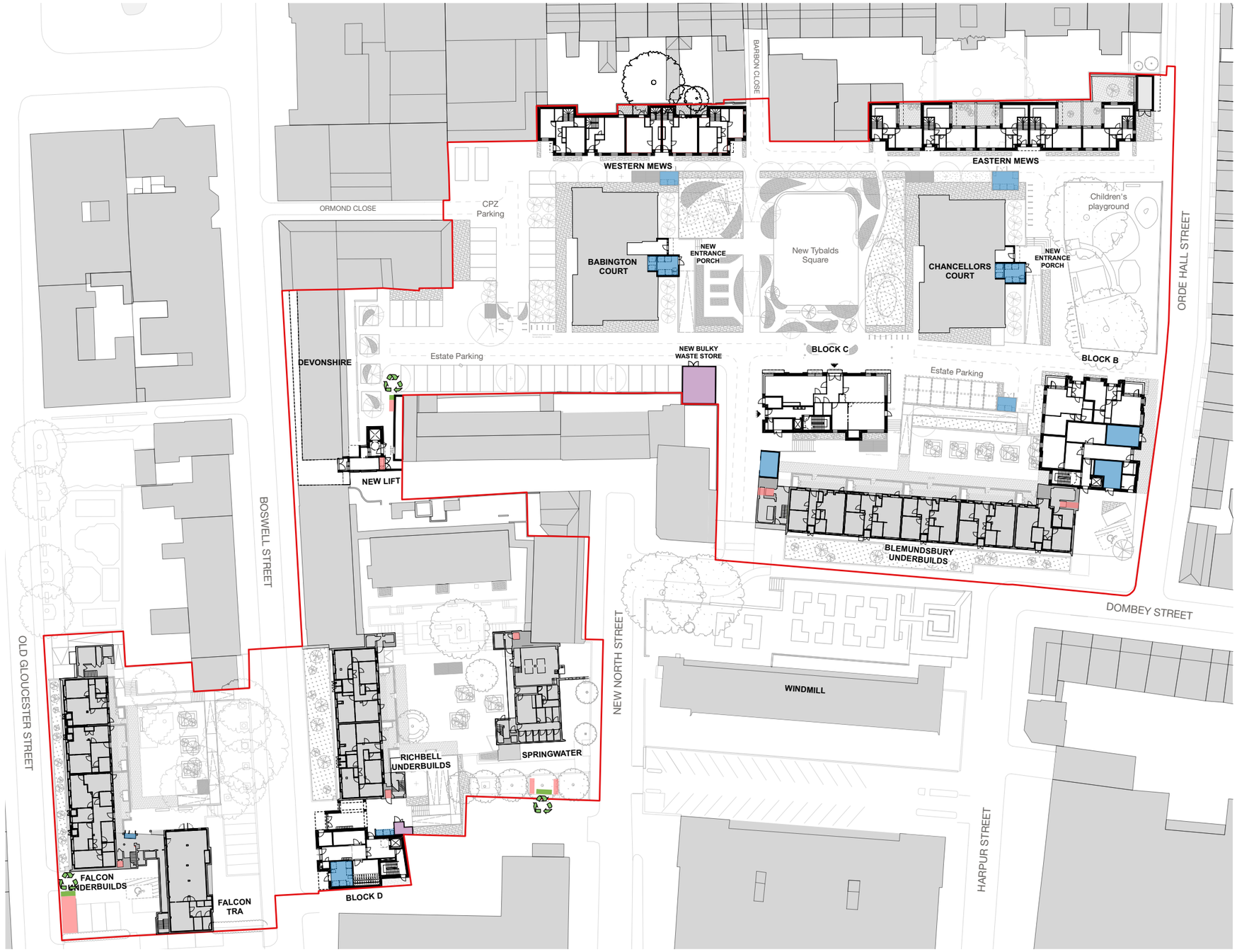
KEY

10.4 **REFUSE STRATEGY**

PROPOSED REFUSE STRATEGY

Together with Velocity, a waste management strategy has been designed to fulfil all requirements for new buildings, as well as tidying up the existing conditions by introducing lockable and enclosed refuse stores throughout.

Refer to document 'D011 TYBALDS ESTATE, LONDON BOROUGH OF CAMDEN WASTE MANAGEMENT STRATEGY' for further details.



Existing bin stores/chutes

Proposed new residents' new refuse stores

Recycling point

Proposed new bulky waste stores

KEY

10.5 **PROPOSED PRODUCTS**

PROPOSED PRODUCTS

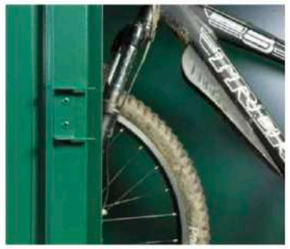
The proposed products for the cycle stores are the following:

-Asgard Annexe Bike Locker:
Secured by Design used for the new underbuild flats, located within their front private patios, can hold 2-3 bikes per locker.

Cyclehoop Bike Hangars:
Used for Block C new residents, Eastern and Western Mews new residents and for existing residents located around the site to increase security within the estate.

annexe.

The Annexe high-security bike store is a Police approved, Loss Prevention Certification Board, and UK Locksmith approved secure unit suitable for high-risk areas or areas where your unit may be isolated. Maintaining the looks of the Addition bike store, the Annexe is even tougher with additional stiffeners, extra bolts, a 5-point locking system, a pick-and-drill resistant lock, rear lock shroud and ground fixing bolts! This is the ultimate bike shed. The high security bike locker is made from tough weatherproof steel with a vented roof to reduce condensation and an additional rainguard to keep your bikes safe and dry. The large double door access can be handed by the user to suit a specific location.



Secured by Design

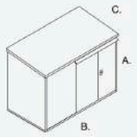
Police Preferred Specification

"Everything about this product was great and easy; asking questions via the website was easy and informative, booking the date for installation was done well, the product looks good and is secure. Good product and customer service."

- NikNak

The Telegraph road.cc pedal powered

See back of brochure for Reviews



key features

ANNEXE SECURITY
- Police approved (Secured by Design accreditation)
- Level 1 LCPB approved
- Locksmith approved
- 5-point locking system with pick-and-drill resistant lock
- Integral full metal base with fixings for securing the unit to the ground
- Reinforced hinges, doors and panels

ANNEXE DESIGN
- User door handing option
- Integral weather guard and shed ventilation to reduce condensation

ASGARD FEATURES
- Weatherproof construction made from strong, thick, galvanised steel
- Supplied with a 10 year warranty as standard
- Maintenance free with no repainting or rotting
- Internal fixings with no externally exposed fixtures, safe and secure
- Easy self assembly with instructions provided
- Installation service available
- Accessory packs available
- Green, grey or ivory finish

dimensions

UNIT DIMENSIONS
A. Height: 1444mm (4ft 7")
B. Width: 1832mm (6ft)
C. Depth: 924mm (3ft)
Weight: 138Kg (21.7 stone)

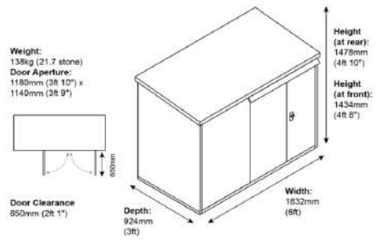
BASE DIMENSIONS
1990mm x 1100mm
DOOR APERTURE
1180mm x 1140mm
DOOR CLEARANCE 650mm

All dimensions and weights are approximate.

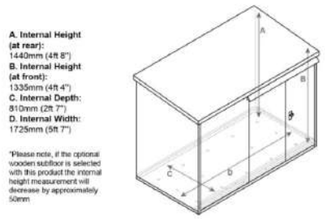
25

Insurance Approved Bike Storage - Dimensions

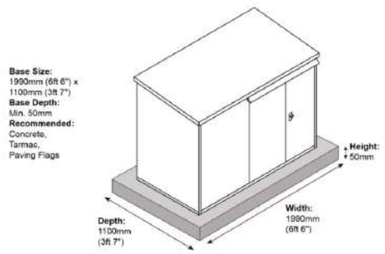
ANNEXE (HIGH SECURITY) BIKE SHED x3
EXTERNAL MEASUREMENTS



ANNEXE (HIGH SECURITY) BIKE SHED x3
INTERNAL MEASUREMENTS



ANNEXE (HIGH SECURITY) BIKE SHED x3
RECOMMENDED BASE SIZE

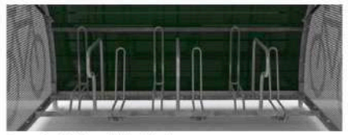


2550mm x 1365mm x 2030mm | Weight: 280kg

Designed and manufactured by Cyclehoop, the Bikehangar offers a secure solution to long-term cycle parking and an effective way to protect bikes from tough weather conditions and vandalism. This award-winning product stores six bikes within half the space of a car parking bay, making it ideal for areas where outdoor cycle storage space is necessary.

Features

- Provides a safe and dry storage space for six bicycles
- Two units can fit into a single car parking space
- High-density internal rack with high low configuration
- Easy to park without handlebars clashing
- Gas sprung door allows easy opening
- Adjustable feet can be installed on uneven surfaces
- Open bottom allows leaves and litter to blow through
- Reflective and high visibility banding on edges
- Galvanised steel frame
- EUIPO Reg. No. 002437897-0001
- Award winning cycle parking



Space for 6 bikes with locking bar

Gas sprung door

Flush vandal resistant handle

Security features

- Corrosion resistant, tamper proof lock
- Vandal resistant door catch
- Perforated steel side panels
- P-shaped internal locking bars

Options

- Custom powder coating
- Vinyl instructions sticker (420 × 68mm)
- Vinyl parking information sticker (270 × 67mm)
- Identification number sticker (90× 40mm)
- Logo vinyl sticker (custom size)
- Planters
- Annual maintenance package
- Reflectors (custom size)
- Custom vinyl wrap
- Cycle parking rentals scheme

Example of custom branding

Dimensions

Installation recommendations

Groundworks recommendations

- 450mm deep concrete pockets (300 x 300 x 450)
- Reinforced concrete base with 200mm sub base

Warranty

10 year warranty

11 SCHEDULES

11.0 RESIDENTIAL AREA SCHEDULE

WHOLE SCHEME OVERVIEW

General Notes
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UNITS OVERVIEW

	TOTAL	%	SUM %
FLATS			
1B2P	24	42.9%	42.9%
2B3P	12	21.4%	35.7%
2B4P	8	14.3%	
3B4P	-	-	17.9%
3B5P	10	17.9%	
4B6P	1	1.8%	3.6%
4B7P	1	1.8%	
TOTAL UNITS	**56**		

UNITS BY TENURE

	SOCIAL TOTAL	SOCIAL %	SOCIAL SUM %	INTERMEDIATE TOTAL	INTERMEDIATE %	INTERMEDIATE SUM %	MARKET TOTAL	MARKET %
FLATS								
1B2P	5	21.7%	21.7%	5	100.0%	100.0%	14	50.0%
2B3P	8	34.8%	52.2%	-	-	-	4	14.3%
2B4P	4	17.4%		-	-		4	14.3%
3B4P	-	-	21.7%	-	-	-	-	-
3B5P	5	21.7%		-	-		5	17.9%
4B6P	1	4.3%	4.3%	-	-	-	-	-
4B7P	-	-		-	-		1	3.6%
	23			**5**			**28**	

TENURE OVERIEW

	UNITS	H/R	NIA	GIA
WHOLE SCHEME				
MARKET	28	83	2,115.5 m²	2491.5 m²
INTERMEDIATE	5	10	260.0 m²	413 m²
SOCIAL	23	77	1,704.0 m²	2098.5 m²
AFFORDABLE	28	87	1,964.0 m²	2511.5 m²
TOTAL H/R		**170**		

GIA excludes TRA halls - Residential only.

AFFORDABLE BY HABITABLE ROOMS

REQUIREMENT				TARGET
Hab. Rooms 170	@ 35%	Calc. Req. 59.50		60
PROVISION				
Total Hab Rooms	87	51%		60
SPLIT Social Rented	77	89%		70%
Intermediate Rented	10	11%		30%
AFFORDABLE BY HAB ROOMS			51%	35%
AFFORDABLE RENT BY UNIT			50%	
WHEELCHAIR ACCESSIBLE BY UNIT			10.7%	10% **6** W/C Units

NON-RESIDENTIAL ITEMS

SPACE	NIA	GIA
TRA Hall Block C	118.5 m²	163 m²
TRA Hall Falcon Underbuilds	88 m²	130 m²
Caretaker's office Blemundsbury	8.5 m²	12 m²
Caretaker's room Springwater	22 m²	40 m²

GIA calculated to include areas of hall/worksapce/office plus any circulation/storage/kitchen and WCs.
NIAs only include the hall/worksapce/office space.

AREAS OVERVIEW

	AREA	
WHOLE SCHEME		
FLATS NIA	4,079.5 m²	Includes all flats NIA
SCHEME NIA	5,105.5 m²	Includes all flats NIA plus NIA of TRA Halls, Worksapces and Caretakers Rooms.
SCHEME GIA	5,387.0 m²	Includes all flats GIA (including Blemundsbury refuse store within Block B and Block C refuse store) plus GIA of TRA Halls, Worksapces and Caretakers Rooms.

RESIDENTIAL UNITS OVERVIEW
UNITS BY AREA & TENURE

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EASTERN MEWS

	G+0	G+1	G+2	G+3	G+4	G+5	G+6	G+7	ROOF	TOTAL
FLATS										
2B4P	1	-	-	-	-	-	-	-		1
3B5P	3	-	-	-	-	-	-	-		3
4B7P	1	-	-	-	-	-	-	-		1
OVERVIEW										
FLAT NIA	591.5	0.0	0.0	0.0	0.0	0.0	0.0	0.0		591.5
GIA	591.5									591.5
RESI EFF%	100.00%	N/A	N/A	N/A	N/A	N/A	N/A	N/A		100.00%
UNITS	**5**	**0**	**0**	**0**	**0**	**0**	**0**	**0**		**5**

BLOCK B

	G+0	G+1	G+2	G+3	G+4	G+5	G+6	G+7	ROOF	TOTAL
FLATS										
1B2P	2	2	2	4	4	-	-	-		14
2B3P	-	2	2	-	-	-	-	-		4
OVERVIEW										
FLAT NIA	117.0	240.5	240.5	209.0	209.0	0.0	0.0	0.0		1016.0
GIA	278.0	294.5	294.5	262.5	262.5					1392.0
RESI EFF%	42.09%	81.66%	81.66%	79.62%	79.62%	N/A	N/A	N/A		72.99%
UNITS	**2**	**4**	**4**	**4**	**4**	**0**	**0**	**0**		**18**

GIA excludes Blemundsbury refuse store within Block B.
Total GIA including Blemundsbury refuse store is **1414** m2

BLOCK C

	G+0	G+1	G+2	G+3	G+4	G+5	G+6	G+7	ROOF	TOTAL
FLATS										
2B4P	-	1	1	1	-	-	-	-		3
3B5P	-	1	1	1	-	-	-	-		3
NIAs										
TRA HALL	163									
OVERVIEW										
FLAT NIA	0.0	160.0	160.0	160.0	0.0	0.0	0.0	0.0		480.0
GIA	50.5	194.5	194.5	194.5						634.0
RESI EFF%	N/A	82.26%	82.26%	82.26%	N/A	N/A	N/A	N/A		75.71%
UNITS	**0**	**2**	**2**	**2**	**0**	**0**	**0**	**0**		**6**

GIA excludes TRA Hall and Block C standalone bin store serving Block C and existing West Blemundsbury.
Block C bin store GIA **17** m2.

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BLOCK D

	G+0	G+1	G+2	G+3	G+4	G+5	G+6	G+7	ROOF	TOTAL
FLATS										
1B2P	-	1	1	1	1	1	2	-		7
2B3P	-	1	1	1	1	1	-	-		5
OVERVIEW										
FLAT NIA	0.0	120.5	120.5	120.5	120.5	120.5	113.0	0.0		715.5
GIA	125.0	156.0	156.0	156.0	156.0	156.0	148.5			1053.5
RESI EFF%	N/A	77.24%	77.24%	77.24%	77.24%	77.24%	76.09%	N/A		67.92%
UNITS	**0**	**2**	**2**	**2**	**2**	**2**	**2**	**0**		**12**

WESTERN MEWS

	G+0	G+1	G+2	G+3	G+4	G+5	G+6	G+7	ROOF	TOTAL
FLATS										
2B4P	3	-	-	-	-	-	-	-		3
3B5P	2	-	-	-	-	-	-	-		2
OVERVIEW										
FLAT NIA	508.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		508.0
GIA	508.0									508.0
RESI EFF%	100.00%	N/A	N/A	N/A	N/A	N/A	N/A	N/A		100.00%
UNITS	**5**	**0**	**0**	**0**	**0**	**0**	**0**	**0**		**5**

11.1 RESIDENTIAL SUMMARY & HOUSING DESIGN STANDARDS

RESIDENTIAL SUMMARY

HOUSING ACCOMMODATION SUMMARY:
56 new units are proposed within the development, none of which require existing residents to move out of their homes.

Of the 56 proposed new homes:
- 50% will be affordable accommodation (42% social rent, 8% intermediate rent)
- 50% will be for private sale

STANDARDS SUMMARY:
All of the units will be designed to meet the following standards:

- Lifetime Homes
- Secured by Design
-10% of the whole development will meet the GLA's Wheelchair Housing standards and Building REgulations Part M4(3)

Space Standards
All of the social rented units will be designed to meet Camden Council space standards and the Mayor of London's Housing Design Guide and the London Plan-Housing SPG. The Private units will also exceed these standards for a successful sale of these units.

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BLOCK B

RESIDENTIAL UNITS BY AREA & TENURE

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Floor	Flat No.	1B2_B1	1B2_B2	1B2_B3	1B2_B4	1B2_B5	1B2_B6	1B2_B7	1B2_B8	2B3_B1	2B3_B2	NIA
Ground Floor	B.0. 1	1										58.5
	B.0. 2			1								58.5
	Subtotal				2					0		117.0
First Floor	B.1. 1			1								52.0
	B.1. 2				1							51.0
	B.1. 3									1		68.5
	B.1. 4										1	69.0
	Subtotal				2					2		240.5
Second Floor	B.2. 1			1								52.0
	B.2. 2				1							51.0
	B.2. 3									1		68.5
	B.2. 4										1	69.0
	Subtotal				2					2		240.5
Third Floor	B.3. 1			1								52.0
	B.3. 2				1							51.0
	B.3. 3					1						50.0
	B.3. 4						1					56.0
	Subtotal				4					0		209.0
Fourth Floor	B.4. 1			1								52.0
	B.4. 2				1							51.0
	B.4. 3							1				50.0
	B.4. 4								1			56.0
	Subtotal				4					0		209.0
					1B2					2B3		NIA
	TOTAL				14					4		1016
	UNITS					18						
	Bedrooms					22						
	Cycle St NLP					29						

Floor	Flat No.	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO
Ground Floor	B.0. 1	2	1	0	0	0	5.0	3.0
	B.0. 2	2	1	0	0	0	6.0	1.5
	Subtotal	4	2	0	0	0		
First Floor	B.1. 1	2	1	0	0	0	5.0	1.5
	B.1. 2	2	1	0	0	0	5.0	1.5
	B.1. 3	3	1	0	0	0	6.0	2.0
	B.1. 4	3	1	0	0	0	6.0	2.0
	Subtotal	10	4	0	0	0		
Second Floor	B.2. 1	2	1	0	0	0	5.0	1.5
	B.2. 2	2	1	0	0	0	5.0	1.5
	B.2. 3	3	1	0	0	0	6.0	2.0
	B.2. 4	3	1	0	0	0	6.0	2.0
	Subtotal	10	4	0	0	0		
Third Floor	B.3. 1	2	1	0	0	0	5.0	1.5
	B.3. 2	2	1	0	0	0	5.0	1.5
	B.3. 3	2	1	0	0	0	21.0	1.5
	B.3. 4	2	1	0	0	0	18.5	1.5
	Subtotal	8	4	0	0	0		
Fourth Floor	B.4. 1	2	1	0	0	0	5.0	1.5
	B.4. 2	2	1	0	0	0	5.0	1.5
	B.4. 3	2	1	0	0	0	7.5	1.5
	B.4. 4	2	1	0	0	0	7.5	1.5
	Subtotal	8	4	0	0	0		
		Total H/R	MKT	INT	SOCIAL	W/C		
	TOTAL	40	18	0	0	0		

Floor	Flat No.	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
Ground Floor	B.0. 1	2	0	0	58.5	0.0	0.0	0.0
	B.0. 2	2	0	0	58.5	0.0	0.0	0.0
	Subtotal	4	0	0	117.0	0.0	0.0	0.0
First Floor	B.1. 1	2	0	0	52.0	0.0	0.0	0.0
	B.1. 2	2	0	0	51.0	0.0	0.0	0.0
	B.1. 3	3	0	0	68.5	0.0	0.0	0.0
	B.1. 4	3	0	0	69.0	0.0	0.0	0.0
	Subtotal	10	0	0	240.5	0.0	0.0	0.0
Second Floor	B.2. 1	2	0	0	52.0	0.0	0.0	0.0
	B.2. 2	2	0	0	51.0	0.0	0.0	0.0
	B.2. 3	3	0	0	68.5	0.0	0.0	0.0
	B.2. 4	3	0	0	69.0	0.0	0.0	0.0
	Subtotal	10	0	0	240.5	0.0	0.0	0.0
Third Floor	B.3. 1	2	0	0	52.0	0.0	0.0	0.0
	B.3. 2	2	0	0	51.0	0.0	0.0	0.0
	B.3. 3	2	0	0	50.0	0.0	0.0	0.0
	B.3. 4	2	0	0	56.0	0.0	0.0	0.0
	Subtotal	8	0	0	209.0	0.0	0.0	0.0
Fourth Floor	B.4. 1	2	0	0	52.0	0.0	0.0	0.0
	B.4. 2	2	0	0	51.0	0.0	0.0	0.0
	B.4. 3	2	0	0	50.0	0.0	0.0	0.0
	B.4. 4	2	0	0	56.0	0.0	0.0	0.0
	Subtotal	8	0	0	209.0	0.0	0.0	0.0
		H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
	TOTAL	40	0	0	1016	0	0	0

BLOCK C

RESIDENTIAL UNITS BY AREA & TENURE

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Floor	Flat No.	2B4_C1	3B5_C1	NIA	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
First Floor	C.1. 1	1		71.0	3	0	0	1	0	8.0	2.5	0	0	3	0.0	0.0	71.0	71.0
	C.1. 2		1	89.0	5	0	0	1	0	8.0	3.0	0	0	5	0.0	0.0	89.0	89.0
	Subtotal	1	1	160.0	8	0	0	2	0			0	0	8	0.0	0.0	160.0	160.0
Second Floor	C.2. 1	1		71.0	3	0	0	1	0	8.0	2.5	0	0	3	0.0	0.0	71.0	71.0
	C 2 2		1	89.0	5	0	0	1	0	8.0	3.0	0	0	5	0.0	0.0	89.0	89.0
	Subtotal	1	1	160.0	8	0	0	2	0			0	0	8	0.0	0.0	160.0	160.0
Third Floor	C.3. 1	1		71.0	3	0	0	1	0	8.0	2.5	0	0	3	0.0	0.0	71.0	71.0
	C.3. 2		1	89.0	5	0	0	1	0	8.0	3.0	0	0	5	0.0	0.0	89.0	89.0
	Subtotal	1	1	160.0	8	0	0	2	0			0	0	8	0.0	0.0	160.0	160.0
		2B4	3B5	NIA	Total H/R	MKT	INT	SOCIAL	W/C			H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
	TOTAL	3	3	480	24	0	0	6	0			0	0	24	0	0	480	480
	UNITS	6																
	Bedrooms	15																
	Cycle St NLP	12																

BLOCK D

RESIDENTIAL UNITS BY AREA & TENURE

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Floor	Flat No.	1B2_D1	1B2_D2	1B2_D3	2B3_D1	NIA	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
First Floor	D.1. 1				1	68.5	3	0	0	1	0	6.0	2.0	0	0	3	0.0	0.0	68.5	68.5
	D.1. 2	1				52.0	2	0	1	0	0	6.0	1.5	0	2	0	0.0	52.0	0.0	52.0
	Subtotal		1		1	120.5	5	0	1	1	0			0	2	3	0.0	52.0	68.5	120.5
Second Floor	D.2. 1				1	68.5	3	0	0	1	0	6.0	2.0	0	0	3	0.0	0.0	68.5	68.5
	D.2. 2	1				52.0	2	0	1	0	0	6.0	1.5	0	2	0	0.0	52.0	0.0	52.0
	Subtotal		1		1	120.5	5	0	1	1	0			0	2	3	0.0	52.0	68.5	120.5
Third Floor	D.3. 1				1	68.5	3	0	0	1	0	6.0	2.0	0	0	3	0.0	0.0	68.5	68.5
	D.3. 2	1				52.0	2	0	1	0	0	6.0	1.5	0	2	0	0.0	52.0	0.0	52.0
	Subtotal		1		1	120.5	5	0	1	1	0			0	2	3	0.0	52.0	68.5	120.5
Fourth Floor	D.4. 1				1	68.5	3	0	0	1	0	6.0	2.0	0	0	3	0.0	0.0	68.5	68.5
	D.4. 2	1				52.0	2	0	1	0	0	6.0	1.5	0	2	0	0.0	52.0	0.0	52.0
	Subtotal		1		1	120.5	5	0	1	1	0			0	2	3	0.0	52.0	68.5	120.5
Fifth Floor	D.5. 1				1	68.5	3	0	0	1	0	6.0	2.0	0	0	3	0.0	0.0	68.5	68.5
	D.5. 2	1				52.0	2	0	1	0	0	6.0	1.5	0	2	0	0.0	52.0	0.0	52.0
	Subtotal		1		1	120.5	5	0	1	1	0			0	2	3	0.0	52.0	68.5	120.5
Sixth Floor	D.6. 1			1		61.0	2	0	0	1	0	5.0	1.5	0	0	2	0.0	0.0	61.0	61.0
	D.6. 2		1			52.0	2	0	0	1	0	5.0	1.5	0	0	2	0.0	0.0	52.0	52.0
	Subtotal		2		0	113.0	4	0	0	2	0			0	0	4	0.0	0.0	113.0	113.0
			1B2		2B3	NIA	Total H/R	MKT	INT	SOCIAL	W/C			H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
	TOTAL		7		5	715.5	29	0	5	7	0			0	10	19	0	260	455.5	715.5
	UNITS		12																	
	Bedrooms		17																	
	Cycle St NLP		20.5																	

RESIDENTIAL SUMMARY continued

Matthew Lloyd Architects LLP — 24/06/21

EASTERN MEWS

RESIDENTIAL UNITS BY AREA & TENURE

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Floor	Flat No.	2B4_A1	3B5_A1	3B5_A2	3B5_A3	4B7_A1	NIA	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
Ground Floor	EM.0. 1					1	147.0	6	1	0	0	0	49.5	4.0	6	0	0	147.0	0.0	0.0	0.0
	EM.0. 2		1				114.0	5	1	0	0	0	41.0	3.0	5	0	0	114.0	0.0	0.0	0.0
	EM.0. 3			1			114.0	5	1	0	0	0	40.5	3.0	5	0	0	114.0	0.0	0.0	0.0
	EM.0. 4				1		114.0	5	1	0	0	0	40.5	2.5	5	0	0	114.0	0.0	0.0	0.0
	EM.0. 5	1					102.5	3	1	0	0	0	37.5	3.0	3	0	0	102.5	0.0	0.0	0.0
	Subtotal	1		3		1	**591.5**	**24**	**5**	**0**	**0**	**0**			**24**	**0**	**0**	**591.5**	**0.0**	**0.0**	**0.0**

	2B4	3B5	4B7	NIA	Total H/R	MKT	INT	SOCIAL	W/C	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
TOTAL	1	3	1	**591.5**	**24**	**5**	**0**	**0**	**0**	**24**	**0**	**0**	**591.5**	**0**	**0**	**0**
UNITS		5														

Bedrooms 15
Cycle St NLP 10

WESTERN MEWS

RESIDENTIAL UNITS BY AREA & TENURE

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Floor	Flat No.	2B4_E1	2B4_E2	2B4_E3	3B5_E1	3B5_E2	NIA	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
Ground Floor	WM.0. 1				1		113.5	5	1	0	0	0	39.0	4.0	5	0	0	113.5	0.0	0.0	0.0
	WM.0. 2	1					93.5	3	1	0	0	0	31.5	2.5	3	0	0	93.5	0.0	0.0	0.0
	WM.0. 3		1				93.5	3	1	0	0	0	31.5	2.5	3	0	0	93.5	0.0	0.0	0.0
	WM.0. 4			1			94.0	3	1	0	0	0	32.5	2.5	3	0	0	94.0	0.0	0.0	0.0
	WM.0. 5					1	113.5	5	1	0	0	0	32.0	4.0	5	0	0	113.5	0.0	0.0	0.0
	Subtotal		3		2		**508.0**	**19**	**5**	**0**	**0**	**0**			**19**	**0**	**0**	**508.0**	**0.0**	**0.0**	**0.0**

	2B4	3B5	NIA	Total H/R	MKT	INT	SOCIAL	W/C	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
TOTAL	3	2	**508**	**19**	**5**	**0**	**0**	**0**	**19**	**0**	**0**	**508**	**0**	**0**	**0**
UNITS	5														

Bedrooms 12
Cycle St NLP 10

UNDERBUILDS

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Floor	Flat No.	1B2_G1 M4(3)b	1B2_G2	1B2_G3 M4(3)b	2B3_G1 M4(3)b	2B3_G2 M4(3)b	2B4_G1	2B4_G2	3B5_G1	3B5_G2	4B6_G1 M4(3)b	NIA	Total H/R	MKT	INT	SOCIAL	W/C	EAS	STO	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
Blemundsbury Underbuild	UB.0. 1						1					70.0	3	0	0	1	0	19.5	2.5	0	0	3	0.0	0.0	70.0	70.0
	UB.0. 2				1							71.0	3	0	0	1	1	20.0	2.0	0	0	3	0.0	0.0	71.0	71.0
	UB.0. 3				1							71.0	3	0	0	1	1	20.0	2.0	0	0	3	0.0	0.0	71.0	71.0
	UB.0. 4					1						70.5	3	0	0	1	1	19.5	2.0	0	0	3	0.0	0.0	70.5	70.5
	UB.0. 5	1										62.5	2	0	0	1	1	5.5	1.5	0	0	2	0.0	0.0	62.5	62.5
	Subtotal		1		3		1		0		0	**345.0**	**14**	**0**	**0**	**5**	**4**			**0**	**0**	**14**	**0.0**	**0.0**	**345.0**	**345.0**
Falcon Underbuild	UF.0. 1		1									58.0	2	0	0	1	0	7.5	2.0	0	0	2	0.0	0.0	58.0	58.0
	UF.0. 2			1								59.0	2	0	0	1	1	20.0	2.0	0	0	2	0.0	0.0	59.0	59.0
	UF.0. 3										1	120.0	6	0	0	1	1	20.5	3.5	0	0	6	0.0	0.0	120.0	120.0
	Subtotal		2		0		0		0		1	**237.0**	**10**	**0**	**0**	**3**	**2**			**0**	**0**	**10**	**0.0**	**0.0**	**237.0**	**237.0**
Richbell Underbuild	UR.0. 1								1			92.0	5	0	0	1	0	23.0	2.5	0	0	5	0.0	0.0	92.0	92.0
	UR.0. 2									1		94.5	5	0	0	1	0	10.5	2.5	0	0	5	0.0	0.0	94.5	94.5
	Subtotal		0		0		0		2		0	**186.5**	**10**	**0**	**0**	**2**	**0**			**0**	**0**	**10**	**0.0**	**0.0**	**186.5**	**186.5**

	1B2	2B3	2B4	3B5	4B6	NIA	Total H/R	MKT	INT	SOCIAL	W/C	H/R MKT	H/R INT	H/R SOCIAL	MKT NIA	INT NIA	SOCIAL NIA	AFF NIA
TOTAL	3	3	1	2	1	**768.5**	**34**	**0**	**0**	**10**	**6**	**0**	**0**	**34**	**0**	**0**	**768.5**	**768.5**
UNITS			10															

Bedrooms 21
Cycle St NLP 18.5

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