

Design and Access Statement Tolmers Square

September 2020



Design and access statement: Project overview

1. Introduction

Tolmers Square forms part of the Regents Park Estate in London. It is located between Euston Road to the south, Hampstead Road to the west, Drummond Street to the north and North Gower Street to the east.

Tolmers Square contains a mix of residential, retail and health provision.

Groundwork London has been contracted to upgrade and rationalise the whole square on behalf of the LB Camden, as part of the HS2 improvements.

This Design and Access Statement is in support of the planning application to carry out the proposed changes.

2. Layout

Residential properties dominate the north, east and some of the west side of the square. UCL and the Square Tavern pub form the southern section.

The square is predominantly pedestrian access only. There is one vehicle route into the square for servicing of retail units and emergency services.

A sunken seating area has become a focus for rough sleeping and ASB.

Existing surfacing is a mixture of styles and in poor condition overall.

It is proposed to address the ASB issues by repurposing the sunken seating area as a SuDS rain garden feature.

Resurfacing throughout the site will improve levels issues and drainage as well as improving the visual aesthetic of the whole site.

The overall design of the site has been shaped by constraints imposed by the large plane trees that dominate the square. Groundwork London appointed an arb specialist to carry out a survey and provide advice to minimise the impact of any proposals on the trees.

3. Access

There are currently three pedestrian only access points to the east, south and west and a joint pedestrian vehicle access to the north.

Improvements will be made to sight lines throughout the space making clearer visual connections to the access points around the square.

4. Appearance

The hard landscaping will use a palette of Ulticolour asphalt surfacing throughout.

Cobble drainage channels will remain and further cobbles added as edging details where appropriate.

Composite decking will be provided across the sunken Rain Garden area.

A corten feature wall will be installed behind the existing bin store. 'Tolmers Square' will be laser cut into the wall.

5. Planting

Planting will fall into two categories, mixed shrub and herbaceous beds and Rain Garden area.

All planting will follow similar characteristics : low maintenance, shade tolerant, attractive to pollinators, long season of visual interest and weed suppressant.

Rain Garden planting will be required to withstand periods of waterlogged soil as well as periods of dry, arid conditions.

CONCEPT PLAN



The key of the proposal is to make the space safer, brighter and more accessible through better planting and surfacing while retaining its calm green focus.

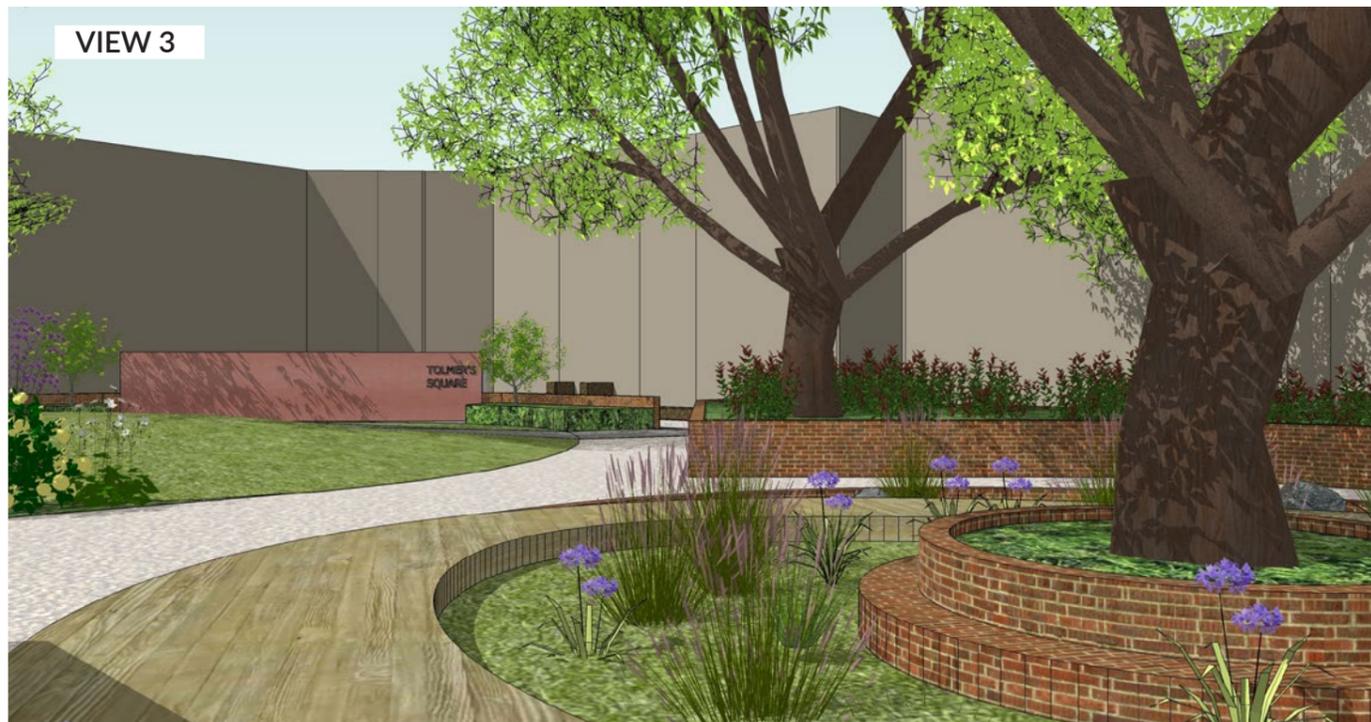
Existing mature Plane trees, as well as the Ginkgo and the Field Maple will be retained and the design takes into account the constraints resulting from the existing levels and the Root Protection Area.

The proposal includes an extended gently undulated lawn area, new attractive shade tolerant planting around the perimeter of the lawn and in the existing raised planters, rain garden with a boardwalk and new improved surfaces.

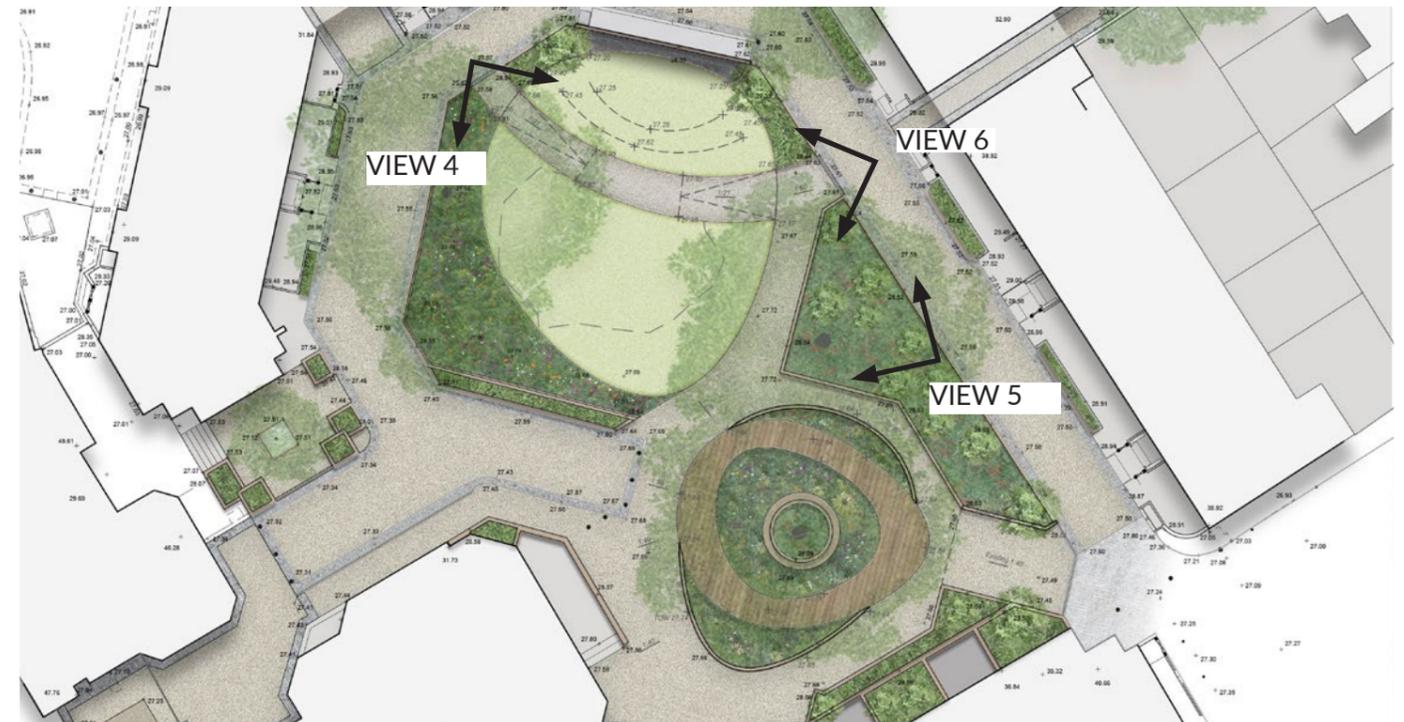
Following a consultation with an arboriculturist, existing walls in the central area of the square were retained, with only one wall proposed to be removed on the eastern side of the lawn and one planter slightly shortened to improve access. This change required an update to the previously proposed layout, in order to fit the new proposal within the strong geometry of the existing walls.

- ① Gently undulated lawns with a path with bound porous surface, designed to minimise disturbance and level change in the RPA of the existing tree.
- ② A sunken rain garden with a boardwalk.
- ③ Corten cladding to back of binstores facing the informal kickabout zone.
- ④ Improved courtyard access to hairdressers. Retained Ginkgo tree, new planting in raised beds.
- ⑤ New attractive shade tolerant planting.
- ⑥ Existing shrub planting replaced with mixed planting of small shrubs, grasses and perennials.
- ⑦ New planters at the North Gower Street entrance.
- ⑧ Existing raised planter shortened, to improve access and sight lines. New specimen shrubs.
- ⑨ Existing granite setts gully and the hammerhead retained. Granite gully extended to walkways.

VISUALISATIONS



VISUALISATIONS



PROPOSED MATERIALS PLAN



KEY

-  Lawn (re-turfing of the existing mound and new lawn in the lower section)
-  New Ulticolour tarmac surface (10mm aggregate, colour TBC); existing subbase re-used where possible
-  Existing granite cobbles to be retained
-  New grey granite cobbles to match existing
-  Porous Ulticolour tarmac in the tree RPA on the 75 mm Cellweb system
-  New composite decking. Enhanced grain by Millboard (colour TBC)
-  Existing walls retained
-  New brick retaining walls to match existing
-  New grey conservation kerb
-  New Kinley AluExcell Flexible edging (height depending on location: 100mm and 150mm)
-  New slot drain - underground connections by a drainage engineer
-  Existing bollards retained to control vehicular access

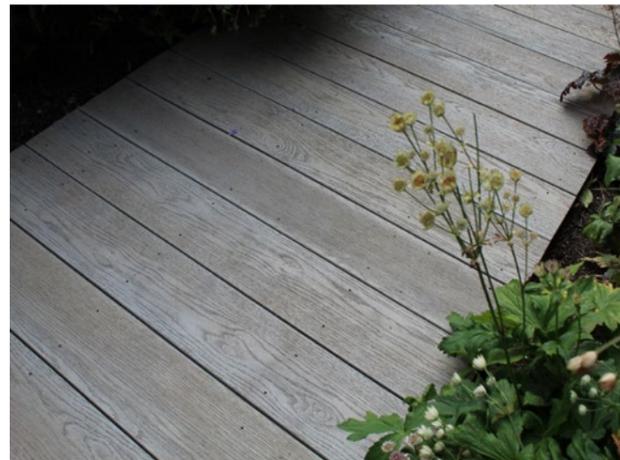
PROPOSED MATERIALS



Ulticolour asphalt - main new surface in the square



Granite setts to be used as edging detail



Composite decking walkway across the sunken garden

PROPOSED PLANTING CHARACTER



Mixed shade tolerant groundcover planting



Evergreen and deciduous shrubs (scented and winter flowering)



Spring bulbs and early flowering perennials